

# PLUMAS COUNTY PRE-DESIGNED ADU

## PLUMAS COUNTY PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, Plumas County has developed four Pre-Designed ADU plans, made available to homeowners for their use. In order for a building permit to be issued, these pre-designed plans shall be submitted to the Plumas Building Department for each project, and will have an expedited review process.

The program includes four floorplans and four exterior architectural styles- "Summit", "Lakeside", "Goldrush" and "Meadow". Floorplans available are: Plan A -Starter One Bedroom ADU (705 GSF), Plan B - Larger One Bedroom ADU (830 GSF), Plan C-Two Bedroom ADU (990 GSF), and Plan D- Three Bedroom ADU (1200 GSF).

Foundations for each ADU are designed as typical slab on grade with monolithic footings per CRC/CBC presumptive soils values. Any project site that does not meet the conditions described will need to seek a soils report for their individual site and develop a custom foundation plan.

This program was funded using an SB2 Planning Grant from the California Department of Housing and Community development (HCD), which provides funding and technical assistance to help local jurisdictions prepare, adopt, and implement plans and process improvements that streamline housing approvals and accelerate housing production.

## HOW TO USE THIS PLAN SET

Included within this plan set are a range of pre-designed architectural styles and exterior materials options, allowing Plumas County homeowners to customize their ADU to best fit their needs.

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. This plan set is intended to be used as-designed, without modification.

To complete the drawing set, project-specific information must be provided by the property owner/applicant. All applicant-provided information will be entered on Sheets G0.0 and G0.1.

In order to receive a building permit, applicants will need to submit a full application for review by the Planning and Building Departments. This will include the Pre-Designed ADU Plan Set, an Administrative Permit Application, a Building Permit Application, and any other supplementary application materials that may be required based on their specific property and project. Refer to the County of Plumas Planning Department for your specific project requirements.

The Architectural and Electrical Plans for each exterior design style are self-contained within their own sheets. The contractor will reference the sheets for the chosen exterior option during construction. Reference the Project Checklist on Sheet G0.0 for specific direction.

The Structural Plans, Architectural Details, Architectural Schedules (door, window, and fixture), Mechanical Plans, and Plumbing Plans are shared across exterior design styles and are contained on specific sheets for these purposes. These sheets will be referenced for all projects.

### HOW TO ENTER PROJECT-SPECIFIC INFORMATION AND APPLY FOR YOUR BUILDING PERMIT

1. Enter PROJECT INFORMATION and a VICINITY MAP in the space provided on Sheet G0.0 and G0.1.
2. Review the drawing set and choose your architectural/exterior design style. Mark your selected options on the PROJECT CHECKLIST on Sheet G0.0.
3. Create your site plan showing where your ADU will be located on your property. Detailed instructions and space for your site plan are provided on Sheet G0.1.
4. Submit your application using the instructions on the County of Plumas website.
5. A County of Plumas employee will contact you to discuss fees and project specifics.

## ADDIT'L REVIEW

### PLANNING DEPARTMENT

PARKING

### ENVIRONMENTAL HEALTH DEPARTMENT

PROPERTIES SERVED BY SEPTIC SYSTEM (CAPACITY)

PROPERTIES SERVED BY WELL

### BUILDING DEPARTMENT

PROPERTIES REQUIRING SOILS REPORT

PROPERTIES REQUIRING CUSTOM-ENGINEERED FOUNDATION

## PROJECT DIRECTORY

ARCHITECT	STRUCTURAL ENGINEER	MECH/PLUMBING ENGINEER
WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	CM TAYLOR STRUCTURAL ENGINEERING, INC 4245 Capitol Rd, Suite #204 Capitola, CA 95010 831.854.2484 contact@cmtylorse.com	ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

## PROJECT INFORMATION

OWNER/APPLICANT:  
ENTER INFORMATION IN THE PROVIDED SPACE

PARCEL INFORMATION	
APN	
STREET ADDRESS	
CITY, STATE, ZIP	
LOT SIZE ( in SF or ACRES)	
PRIMARY DWELLING SIZE	The size of the existing primary dwelling in Square Feet
DETACHED GARAGE SIZE	The size of existing detached garage or other accessory structure in Square Feet. If none exists, enter 0.
PROPOSED ADU SIZE	1200 GSF
WILDFIRE REBUILD	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> PRIMARY DWELLING <input type="checkbox"/> ADU
PARCEL WITHIN FEMA SPECIAL FLOOD HAZARD AREA (SFHA)?	<input type="checkbox"/> YES <input type="checkbox"/> NO 100-YEAR FLOODPLAIN
PROJECT INFORMATION	
OCCUPANCY GROUP - R3	TYPE OF CONSTRUCTION - STANDARD/TYPE V-B
MAIN RESIDENCE	<input type="checkbox"/> YES <input type="checkbox"/> NO
HAS FIRE SPRINKLERS	
PROPERTY OWNER	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	
PROJECT CONTRACTOR	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	

## PROJECT CHECKLIST

CAREFULLY MARK THE BOX FOR EACH SELECTION

ARCHITECTURAL STYLE (SELECT ONE ALONG WITH SUB-SECTIONS)	For this option, use the listed sheets and details:
<input type="checkbox"/> SUMMIT <input type="checkbox"/> HORIZONTAL CLAPBOARD <input type="checkbox"/> HORIZONTAL FIBER CEMENT BOARD <input type="checkbox"/> STANDING SEAM METAL ROOF <input type="checkbox"/> ASPHALT SHINGLE ROOF	Architectural: A1.0, A1.1, A1.2, A1.3, A5.0, A5.1, A5.2, A5.3, A5.4, A6.0 Wall Assembly Details: A5.0 - TYPE E1 Structural: S0.0, S0.1, S1.0D, S2.0, S2.1, S2.2, S2.3 Mechanical/Plumbing: MP0.1, MP0.2, MP2.4 T24: T24.25, T24.26
<input type="checkbox"/> LAKESIDE <input type="checkbox"/> HORIZONTAL CLAPBOARD <input type="checkbox"/> STANDING SEAM METAL ROOF <input type="checkbox"/> ASPHALT SHINGLE ROOF	For this option, use the listed sheets and details: Architectural: A2.0, A2.1, A2.2, A2.3, A5.0, A5.1, A5.2, A5.3, A5.4, A6.0 Structural: S0.0, S0.1, S1.0D, S2.0, S2.1, S2.2, S2.3 Mechanical/Plumbing: MP0.1, MP0.2, MP2.4 T24: T24.27, T24.28
<input type="checkbox"/> GOLDRUSH <input type="checkbox"/> HORIZONTAL CLAPBOARD <input type="checkbox"/> STANDING SEAM METAL ROOF <input type="checkbox"/> ASPHALT SHINGLE ROOF	For this option, use the listed sheets and details: Architectural: A3.0, A3.1, A3.2, A3.5, A5.0, A5.1, A5.2, A5.3, A6.0 Structural: S0.0, S0.1, S1.0D, S2.0, S2.1, S2.2, S2.3 Mechanical/Plumbing: MP0.1, MP0.2, MP2.4 T24: T24.29, T24.30
<input type="checkbox"/> MEADOW <input type="checkbox"/> CEDAR LAP SIDING AT PORCH AREAS <input type="checkbox"/> HORIZONTAL FIBER CEMENT BOARD <input type="checkbox"/> STANDING SEAM METAL ROOF <input type="checkbox"/> ASPHALT SHINGLE ROOF	For this option, use the listed sheets and details: Architectural: A4.0, A4.1, A4.2, A4.3, A5.0, A5.1, A5.2, A5.3, A6.0 Wall Assembly Details: A5.0 - TYPES E3, E1 Structural: S0.0, S0.1, S1.0D, S2.0, S2.1, S2.2, S2.3 Mechanical/Plumbing: MP0.1, MP0.2, MP2.4 T24: T24.31, T24.32
<input type="checkbox"/> OPTIONAL CURBLESS SHOWER	Requires foundation coordination. See detail 6/A5.3.
CODE COMPLIANCE (CHECK IF APPLICABLE)	
<input type="checkbox"/> EXT. WALL WITHIN 4'-5" OF PROPERTY LINE	Within 4'-5" of Property Line, the wall assembly shall be 1-Hour Rated. Within 4'-5" of the Property Line, the area of openings shall be limited to 25% of the wall area.
SITE PLAN (REQUIRED)	
<input type="checkbox"/> OWNER PROVIDED SITE PLAN COMPLETE	Complete Sheet G0.1, Owner-Provided Site Plan

## SCOPE OF WORK - 3 BEDROOM

CONSTRUCTION OF A NEW, DETACHED 1,200 GROSS SQUARE FOOT (GSF), TWO STORY ACCESSORY DWELLING UNIT (ADU) ON THE SUBJECT PARCEL. ADU CONSISTS OF THREE BEDROOMS, TWO FULL BATHROOMS, KITCHEN/GREAT ROOM, AND LAUNDRY ROOM.

## PERMIT APPLICATION SET

### DRAWING INDEX

CHECK BOXES FOR THE OPTIONS SELECTED ON THE PROJECT CHECKLIST

#### GENERAL SHEETS

G0.0 PROJECT INFORMATION - TYPE D  
G0.1 OWNER-PROVIDED SITE PLAN - TYPE D  
G1.0 GENERAL NOTES - TYPE D  
G2.0 CAL GREEN REQUIREMENTS - TYPE D  
G2.1 CAL GREEN REQUIREMENTS - TYPE D

#### ARCHITECTURAL

A1.0 D - SUMMIT - FLOORPLANS & ROOF PLAN  
A1.1 D - SUMMIT - ELEVATIONS  
A1.2 D - SUMMIT - RCP  
A1.3 D - SUMMIT - ELECTRICAL  
A1.4 D - SUMMIT - SECTIONS  
A2.0 D - LAKESIDE - FLOORPLANS & ROOF PLAN  
A2.1 D - LAKESIDE - ELEVATIONS  
A2.2 D - LAKESIDE - RCP  
A2.3 D - LAKESIDE - ELECTRICAL  
A2.4 D - LAKESIDE - SECTIONS  
A3.0 D - GOLDRUSH - FLOORPLANS & ROOF PLAN  
A3.1 D - GOLDRUSH - ELEVATIONS  
A3.2 D - GOLDRUSH - RCP  
A3.3 D - GOLDRUSH - ELECTRICAL  
A3.4 D - GOLDRUSH - SECTIONS  
A4.0 D - MEADOW - FLOORPLANS & ROOF PLAN  
A4.1 D - MEADOW - ELEVATIONS  
A4.2 D - MEADOW - RCP  
A4.3 D - MEADOW - ELECTRICAL  
A4.4 D - MEADOW - SECTIONS  
A5.0 EXTERIOR WALL ASSEMBLY DETAILS  
A5.1 EXTERIOR WUI AND ROOF DETAILS  
A5.2 EXTERIOR DETAILS  
A5.3 INTERIOR DETAILS & WALL PARTITIONS  
A5.4 STAIR SECTIONS AND DETAILS  
A6.0 D - SCHEDULES

#### STRUCTURAL

S0.0 TYPICAL DETAILS  
S0.1 STRUCTURAL NOTES  
S1.0D TYPE D ONE BEDROOM ROOF/CEILING FRAMING & FOUNDATION PLAN  
S2.0 FOUNDATION DETAILS  
S2.1 ROOF FRAMING DETAILS  
S2.2 ROOF FRAMING DETAILS  
S2.3 ROOF FRAMING DETAILS

#### MECHANICAL AND PLUMBING

MP0.1 TITLE SHEET  
MP0.2 SCHEDULES, DETAILS MECHANICAL & PLUMBING  
MP2.4 TYPE D THREE BEDROOM - SUMMIT  
MP2.4 TYPE D THREE BEDROOM - LAKESIDE  
MP2.4 TYPE D THREE BEDROOM - GOLDRUSH  
MP2.4 TYPE D THREE BEDROOM - MEADOW

#### ENERGY COMPLIANCE/TITLE 24

T24.25 TITLE 24 FORMS THREE BEDROOM - SUMMIT  
T24.26 TITLE 24 FORMS THREE BEDROOM - SUMMIT  
T24.27 TITLE 24 FORMS THREE BEDROOM - LAKESIDE  
T24.28 TITLE 24 FORMS THREE BEDROOM - LAKESIDE  
T24.29 TITLE 24 FORMS THREE BEDROOM - MEADOW  
T24.30 TITLE 24 FORMS THREE BEDROOM - MEADOW  
T24.31 TITLE 24 FORMS THREE BEDROOM - GOLDRUSH  
T24.32 TITLE 24 FORMS THREE BEDROOM - GOLDRUSH

### BUILDING CODES USED

1. 2022 CALIFORNIA BUILDING CODE
2. 2022 CALIFORNIA RESIDENTIAL CODE
3. 2022 CALIFORNIA ELECTRICAL CODE
4. 2022 CALIFORNIA PLUMBING CODE
5. 2022 CALIFORNIA MECHANICAL CODE
6. 2022 CALIFORNIA FIRE CODE
7. 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
8. 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE
9. 2022 PLUMAS COUNTY CODE OF ORDINANCES

189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM  
P: 831.227.2217

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED. THE PRE-DESIGNED ADU PLANS FOR THE USE OF THE COUNTY OF PLUMAS. USE OF THESE PLANS BY ANY OTHER COUNTY OR REGIONAL AUTHORITY IS PROHIBITED. THE RECIPIENT IS RESPONSIBLE FOR VERIFY ANY AND ALL INFORMATION RELATED TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH AND THE COUNTY OF PLUMAS SHALL NOT BE RESPONSIBLE FOR ANY AND ALL ERRORS OR DEFECTS.

2. THE RECIPIENT AGREES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR THE COUNTY OF PLUMAS. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREIN. WORKBENCH AND THE COUNTY OF PLUMAS SHALL NOT BE LIABLE FOR ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RELATED TO THE USE OF THESE PLANS, WHETHER ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPIRIGHTED AND SUBJECT TO COPIRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, THE RECIPIENT SHOULD NOT PROCEED BEYOND THIS DISCLAIMER.

NOT FOR CONSTRUCTION

PLUMAS COUNTY  
PRE-DESIGNED ADU  
PLAN D - THREE BEDROOM ADU  
1200 GSF  
G0.0  
NOT FOR CONSTRUCTION

## HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED.



workbench

189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
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1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL  
PROJECT FOR WHICH IT WAS PREPARED. THE PRE-DESIGNED ADU  
PLANS FOR THE USE OF THE PLANS ARE THE PROPERTY OF  
WORKBENCH AND NOT LICENSED OR RESELLABLE. THE RECIPIENT  
IS RESPONSIBLE TO VERIFY ANY AND ALL INFORMATION RELEVANT  
TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT.  
WORKBENCH AND THE COUNTY OF PLUMAS SHALL NOT BE  
RESPONSIBLE FOR ANY AND ALL ERRORS.

2. THE RECIPIENT AGREES AND ACKNOWLEDGES THAT THE USE  
OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT  
ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR THE COUNTY  
OF PLUMAS. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS  
OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE  
INFORMATION CONTAINED THEREIN. THE RECIPIENT AGREES NOT TO  
ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS  
WILL BE AT THE RECIPIENT'S OWN RISK AND WITHOUT LEGAL RESPONSIBILITY.  
FURTHERMORE, THE RECIPIENT WILL HOLD WORKBENCH AND THE  
COUNTY OF PLUMAS HARMLESS FROM ANY AND ALL CLAIMS, SUITS,  
LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF  
RESULTS OF THE RECIPIENT'S USE OF THIS INFORMATION, INJURY, DEATH,  
DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED  
AND SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES  
NOT AGREE WITH THE ABOVE CONDITIONS, THE RECIPIENT SHOULD  
NOT PROCEED BEYOND THIS DISCLAIMER.

NOT FOR  
CONSTRUCTION

### SITE PLAN CHECKLIST

THE OWNER SHALL PROVIDE A DIMENSIONED AND SCALED SITE PLAN SHOWING THE BELOW INFORMATION. THIS CHECKLIST IS PROVIDED TO HELP GUIDE YOU THROUGH THE CREATION OF YOUR PROPERTY'S SITE PLAN.

SITE PLAN INFORMATION		EXPLANATION
<input type="checkbox"/>	DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/>	PROPERTY LINES	SHOW OUTLINE OF PROPERTY USING DASHED LINE. DIMENSION EACH PROPERTY LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/>	LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARSCAPING AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU. IF APPLICABLE, INDICATE LOCATION OF FENCES, GATES, TREES AND WATERCOURSES.
<input type="checkbox"/>	SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. THE ADU SHOULD BE LOCATED 5'-0" FROM ANY SIDE/REAR PROPERTY LINES. <i>PER STORY</i> . IF THE EXTERIOR WALLS ARE FIRE RATED THE ADU MAY BE LOCATED 4'-0" FROM PROPERTY LINES. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/>	EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/>	LOCATION OF EXISTING UTILITIES AND PROPOSED NEW UTILITIES	NOTE AND LABEL THE LOCATION OF ANY UTILITY POLES, OVERHEAD SERVICE, SEWER DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, AND GAS METERS/LINES WHICH EXIST ON THE PROPERTY OR ARE PROPOSED. INDICATE SIZE OF SUBPANELS. INDICATE LOCATION OF EXISTING OR PROPOSED FIRE SUPPRESSION SYSTEM TANK AND CAPACITY.
<input type="checkbox"/>	LABELED STREETS	SITE PLAN SHOULD SHOW THE STREET EDGE WITH THE STREET NAME LABELED. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/>	PROPOSED LOCATION OF ADU ADDRESS NUMBERS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. REFER TO CURRENT COUNTY OF PLUMAS ADDRESSING STANDARDS AND ADDRESS APPLICATION.
<input type="checkbox"/>	FOOTPRINT OF EXISTING BUILDINGS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES.
<input type="checkbox"/>	FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU".
<input type="checkbox"/>	DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR ACCESSORY STRUCTURES. REQUIRED MINIMUM SEPARATION BETWEEN BUILDINGS SHALL BE 5 FEET.

12/14/2023 10:33:44 AM

### FIRE RATING NOTES

WITHIN 4-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

REFERENCE A5.0 "FIRE RATING NOTES" FOR STANDARD  
1-HR RATED WALL PER CBC TABLE 721.12, ITEM #15-1.12<sup>a</sup>

### BUILDING HEIGHT - PLUMAS COUNTY

NO STRUCTURE IN THE SINGLE-FAMILY RESIDENTIAL ZONES (2-R, 3-R, 7-R) SHALL EXCEED THIRTY-FIVE (35') FEET IN HEIGHT. REFER TO ARTICLE 13 SECTION 9-2.1303 OF THE PLUMAS COUNTY CODE OF ORDINANCES.

### VICINITY MAP (OPTIONAL)

NOT TO SCALE

INSERT MAP SHOWING VICINITY OF PROJECT HERE, INCLUDING NEARBY STREETS

### SITE PLAN LEGEND

USE THESE SYMBOLS TO DRAW AND ANNOTATE YOUR SITE PLAN

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
	MAIN ST.
	ARROW - USE FOR CALLOUTS AS NEEDED

PLUMAS COUNTY  
PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU

1200 GSF

NOT FOR  
CONSTRUCTION

OWNER-PROVIDED  
SITE PLAN - TYPE D

G0.1

SCALE : AS NOTED

## GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER. REVISIONS TO BE SUBMITTED, REVIEWED AND APPROVED BY THE COUNTY OF PLUMAS.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNLESS OTHERWISE NOTED.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY REQUIREMENTS.
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS.
- CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.
- FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED AND PROVIDED DURING THE CONSTRUCTION PERIOD.
- PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.

## ABBREVIATIONS

AB	ANCHOR BOLT	DEPT	DEPARTMENT	FTG	FOOTING	MIN	MINIMUM	SEC	SECTION
AC	ASPHALT CONCRETE	DIA	DIAMETER	GA	GAUGE	MISC	MISCELLANEOUS	SED	SEE ELECTRICAL DRAWINGS
AD	AREA DRAIN	DIAG	DIAGONAL	GALV	GALVANIZED	MTD	MONTEED	SF	SQUARE FOOT
ADJ	ADJACENT	DIM	DIMENSION	GC	GENERAL CONTRACTOR	MTL	METAL	SPEC	SPECIFICATION
AFF	ABOVE FINISH FLOOR	DL	DEAD LOAD	GWB	GYPSUM WALL BOARD	(IN)	NEW	SPD	SEE PLUMBING DRAWINGS
AL	ALIGN	DN	DOWN	HD	HOLDOWN	NIC	NOT IN CONTRACT	SSD	SEE STRUCTURAL DRAWINGS
ALUM	ALUMINUM	DR	DOOR	HDR	HEADER	NA	NOT APPLICABLE	SS	SOLID SURFACE
ALT	ALTERNATE	DWG	DRAWING	HGR	HANGER	NTS	NOT TO SCALE	STD	STANDARD
ARCH	ARCHITECT/ARCHITECTURAL	DW	DISHWASHER	HM	HOLLOW METAL	O/	OVER	STL	STEEL
AVG	AVERAGE	(E)	EXISTING	HORIZ	HORIZONTAL	OC	ON CENTER	STRUCT	STRUCTURAL
BD	BOARD	EA	EACH	HT	HEIGHT	OH	OVERHEAD/OVERHANG	SUSP	SUSPENDED
BLDG	BUILDING	EB	EXPANSION BOLT	HVAC	HEATING/VENTILATION/	OPNG	OPENING	SYS	SYSTEM
BLKG	BLOCKING	EJ	EXPANSION JOINT	AIR CONDITIONING	PL	PLATE	T	TEMPERED	
BTM	BOTTOM	ELEC	ELECTRIC/ELECTRICAL	HW	HOT WATER	PLF	POUNDS PER LINEAL FOOT	TOC	TOP OF CURB
BTWN	BETWEEN	ELEV	ELEVATOR/ELEVATION	IN	INCH/INCHES	PLYWD	POUNDS PER LINEAL FOOT	TYP	TYPICAL
BUR	BUILT-UP ROOFING	EN	EDGE NAILING	INFO	INFORMATION	PTD	PAINTED	UON	UNLESS OTHERWISE NOTED
CB	CATCH BASIN	ENCL	ENCLOSURE	INSUL	INSULATION	PSF	POUNDS PER SQUARE FOOT	VERT	VERTICAL
CF	CUBIC FEET	EP	ELECTRICAL PANEL	INT	INTERIOR	PSI	POUNDS PER SQUARE INCH	VIF	VERIFY IN FIELD
CJ	CONTROL JOINT	EQUIP	EQUIPMENT	JT	JOINT	PT	PRESSURE TREATED	W/	WITH
CLKG	CAULKING	EXT	EXTERIOR	KIT	KITCHEN	PVMT	PAVEMENT	WC	WATER CLOSET
CLG	CEILING	FD	FLOOR DRAIN	LB	LAG BOLT	RA	RETURN AIR	WD	WOOD
CLR	CLEAR	FF	FINISH FLOOR	LBS	POUNDS	RCP	REFLECTED CEILING PLAN	WH	WATER HEATER
CO	CLEANOUT	FIN	FINISH	LF	LINEAR FOOT	RD	ROOF DRAIN	WDW	WINDOW
COTG	CLEANOUT TO GRADE	FL	FLOW LINE	LL	LIVE LOAD	REF	REFERENCE	W/O	WITHOUT
COL	COLUMN	FLSHG	FLASHING	LS	LAG SCREW	REFR	REFRIGERATOR	WP	WATERPROOF
CONC	CONCRETE	FUR	FLOOR	MAX	MAXIMUM	REQD	REQUIRED	WT	WEIGHT
CONT	CONTINUOUS	FOC	FACE OF CONCRETE	MB	MACHINE BOLT	REV	REVISION		
CT	CERAMIC TILE	FOS	FACE OF STUD	MECH	MECHANICAL	RM	ROOM		
CTR	CENTER	FOW	FACE OF WALL	MFD	MANUFACTURED	RO	ROUGH OPENING		
CW	COLD WATER	FRMG	FRAMING	MFR	MANUFACTURER	SCHED	SCHEDULE		
DBL	DOUBLE	FT	FOOT	MICRO	MICROWAVE	SD	STORM DRAIN		

## ELECTRICAL NOTES

- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY OR COUNTY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT.
- ACCESSORY DWELLING UNITS (ADU) ARE TO BE PROVIDED WITH ACCESSIBLE SHUTOFFS FOR WATER AND GAS CONNECTIONS SERVING THE ADU.
- EXISTING OR PROPOSED FIRE SUPPRESSION SYSTEM TO COMPLY WITH COUNTY POLICY ON FREEZE PROTECTION. SEE BELOW FOR ADDITIONAL INFORMATION.

## FREEZE PROTECTION

THE FOLLOWING ARE REQUIREMENTS PER FREEZE PROTECTION 312.6 2022 C.P.C. POLICY #03-03-06 REV. 01-10-13

APPROVED ADEQUATE PROVISION FOR NEW CONSTRUCTION AND/OR NEW ADDITIONS TO EXISTING STRUCTURES SHALL BE AS FOLLOWS:

- NO WATER SUPPLY LINES, DWV TRAPS, OR WATER RETAINING APPLIANCES OR DEVICES (I.E., WASHING MACHINES, PRESSURE TANKS, RECESSED WASHING MACHINE OR ICE MAKER SUPPLY BOXES, ETC.) ARE TO BE PLACED IN UNHEATED SPACES OF THE STRUCTURE (I.E. EXTERIOR WALLS, ATTICS, GARAGE UNHEATED CLOSETS, ETC.).
- WATER SUPPLY LINES MAY BE IN THE EXTERIOR WALLS OF CONDITIONED SPACES IF:
  - THE WALL IS A MINIMUM 6" THICK;
  - THE PIPING IS LOCATED SUCH THAT A MINIMUM R-11 OR UNCOMPRESSED WALL INSULATION IS PROPERLY INSULATED BEHIND THE PIPING.
- WATER SUPPLY LINES, DWV TRAPS, ARE ALLOWED IN UNDERFLOOR AREAS OF CONDITIONED SPACES IF LOCATED MORE THAN 5' FROM ANY FOUNDATION VENT, SIMILARLY THERMING.
- A WATER PIPING DRAWDOWN SYSTEM IS RECOMMENDED, BUT NOT REQUIRED IN AREAS WITH SNOW LOADS LESS THAN 100 LB/SQ.FT. IN AREAS 100 LB/SQ.FT. AND GREATER SNOW LOADS, A DRAWDOWN SYSTEM IS REQUIRED.
- HEAT TAPE IS NOT AN APPROVAL ALTERNATE FREEZE PROTECTION METHOD FOR NEW CONSTRUCTION

## AGING IN PLACE NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA RESIDENTIAL CODE, R327.1.1

AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

- REINFORCEMENT SHALL BE AT LEAST 2X8 LUMBER AND SHALL BE LOCATED BETWEEN 32" AND 39-1/4" ABOVE THE FINISHED FLOOR.
- WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE OR ON ONE SIDE WALL AND THE BACK WALL. (SEE EXCEPTION FOR TOILETS NOT LOCATED ADJACENT TO A WALL).
- SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
- BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM.

VENTS. CBC 706A / CRC R337.6

VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDFIRE FLAME AND EMBER RESISTANT VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS TESTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH CBC 706A2.1.

## WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

## EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

## UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

## ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A

GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

## WUI/SRA NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE SECTION R337.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

## VEGETATION MANAGEMENT COMPLIANCE. R3371.5

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

## ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

## OFF RIDGE AND RIDGE VENTS. R337.6.2.1

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

- VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.
- THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
- THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

## EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.1/CRC R337.7.3

WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL, LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PERFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED E



California

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y YES  
N/A NOT APPLICABLE  
R RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

<b>CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL</b>		<b>4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.</b> When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.		<b>4.106.4.2.4 Identification.</b> The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.		<b>4.106.4.2.5 Electric Vehicle Ready Space Signage.</b> Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).		<b>4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.</b> When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.		<b>4.304 OUTDOOR WATER USE.</b> <b>4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.</b> Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	
<b>301.1 SCOPE.</b> Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.		<b>4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.</b> The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.		<b>4.106.4.2.2 Identification.</b> The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.		<b>4.106.4.2.3 Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</b>		<b>4.106.4.2.4 There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</b>		<b>4.304 NOTES:</b> 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 27, Division 2, MWELO and supporting documents, including water budget calculator, are available at: <a href="https://www.waterr.ca.gov/">https://www.waterr.ca.gov/</a>	
<b>301.1.1 Additions and alterations. [HCD]</b> The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		<b>4.106.4.2.5 Electric Vehicle Ready Space Signage.</b> The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.		<b>4.106.4.2.6 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.</b> When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.		<b>4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.</b> When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.		<b>4.304.2 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</b>		<b>4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE.</b>	
<b>301.1.2 Additions and alterations. [HCD]</b> The provisions of individual Sections of CALGreen may apply to either low-rise residential buildings, high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, banner will be used.		<b>4.106.4.2.4 Identification.</b> The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.		<b>4.106.4.2.5 Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</b>		<b>4.106.4.2.6 There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</b>		<b>4.406.1 RODENT PROOFING.</b> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.		<b>4.406.2 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING.</b>	
<b>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD]</b> The provisions of individual Sections of CALGreen may apply to either low-rise residential buildings, high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, banner will be used.		<b>4.106.4.2.7 Electric vehicle charging receptacles.</b> For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.		<b>4.106.4.2.8 Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</b>		<b>4.106.4.2.9 Note:</b> a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.1.1 CONSTRUCTION WASTE MANAGEMENT.</b> Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.406.2, 4.406.3 or 4.406.4, or meet a more stringent local construction and demolition waste management ordinance.		<b>4.406.3 WASTE MANAGEMENT COMPANY.</b> Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.406.1.	
<b>SECTION 302 MIXED OCCUPANCY BUILDINGS</b>		<b>4.106.4.2.10 Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</b>		<b>4.106.4.2.11 Note:</b> a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.12 Note:</b> a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.3.1 CONSTRUCTION WASTE REDUCTION ALTERNATIVE [LR].</b> Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.406.1.		<b>4.406.4.1 WASTE STREAM REDUCTION ALTERNATIVE.</b> Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.406.1.	
<b>302.1 MIXED OCCUPANCY BUILDINGS.</b> In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.		<b>4.106.4.2.13 Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.</b>		<b>4.106.4.2.14 Note:</b> a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.15 Note:</b> a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.4.2 CONSTRUCTION WASTE MANAGEMENT PLAN.</b> Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.		<b>4.406.5 DOCUMENTATION.</b> Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.406.2, items 1 through 5, Section 4.406.3 or Section 4.406.4.	
<b>ABBREVIATION DEFINITIONS:</b>		<b>4.106.4.2.16 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.17 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.18 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.1 BUILDING MAINTENANCE AND OPERATION.</b>		<b>4.406.6.2 OPERATION AND MAINTENANCE MANUAL.</b> At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:	
<b>HCD</b> Department of Housing and Community Development <b>BSC</b> California Building Standards Commission <b>DGA-SS</b> Division of the State Architect, Structural Safety <b>OSHPD</b> Office of Statewide Health Planning and Development <b>LR</b> Low Rise <b>HR</b> High Rise <b>AA</b> Additions and Alterations <b>N</b> New		<b>4.106.4.2.19 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.20 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.21 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.3 DIRECTIONS TO THE OWNER.</b>		<b>4.406.6.4 OPERATION AND MAINTENANCE INSTRUCTIONS.</b>	
<b>CHAPTER 4 RESIDENTIAL MANDATORY MEASURES</b>		<b>4.106.4.2.22 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.23 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.24 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.5 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.6 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>SECTION 4.102 DEFINITIONS</b>		<b>4.106.4.2.25 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.26 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.27 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.7 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.8 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>4.102.1 DEFINITIONS</b>		<b>4.106.4.2.28 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.29 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.30 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.9 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.10 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>FRENCH DRAIN.</b> A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.		<b>4.106.4.2.31 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.32 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.33 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.11 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.12 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>WATTLES.</b> Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.		<b>4.106.4.2.34 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.35 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.36 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.13 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.14 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>4.106 SITE DEVELOPMENT</b>		<b>4.106.4.2.37 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.38 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.39 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.15 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.16 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>4.106.1 GENERAL</b>		<b>4.106.4.2.40 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.41 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.42 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.17 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.18 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.</b> Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.		<b>4.106.4.2.43 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.44 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.45 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.19 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.20 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>4.106.3 GRADING AND PAVING.</b> Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:		<b>4.106.4.2.46 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.47 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.48 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.21 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.22 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>4.106.4 Electric vehicle (EV) charging for new construction.</b> New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.		<b>4.106.4.2.49 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.50 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.51 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.23 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.24 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>Exceptions:</b>		<b>4.106.4.2.52 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.53 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.106.4.2.54 Note:</b> a. Construction documents shall show location of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		<b>4.406.6.25 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>		<b>4.406.6.26 MAINTENANCE AND OPERATION INSTRUCTIONS.</b>	
<b>4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages.</b> For each dwelling unit, install a listed raceway to accommodate a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.		<b>4.106.4.2.55 Note:</b> a. Construction documents shall show location of future EV spaces. b.									



California

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y YES  
N NOT APPLICABLE  
R RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER,  
OWNER, CONTRACTOR, INSPECTOR ETC.)

Y	N/A	RESPON. PARTY																																																														
<b>MAXIMUM INCREMENTAL REACTIVITY (MIR).</b> The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O <sub>3</sub> /g ROG). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.																																																																
<b>MOISTURE CONTENT.</b> The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.																																																																
<b>PRODUCT-WEIGHTED MIR (PWWMR).</b> The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWWMR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).																																																																
Note: PWWMR is calculated according to equations found in CCR, Title 17, Section 94521 (a).																																																																
<b>REACTIVE ORGANIC COMPOUND (ROC).</b> Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.																																																																
<b>VOC.</b> A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).																																																																
<b>4.503 FIREPLACES</b>																																																																
4.503.1 <b>GENERAL.</b> Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.																																																																
<b>4.504 POLLUTANT CONTROL &amp; PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.</b> At the time of rough installation, during storage on the construction site and until first startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.																																																																
<b>4.504.2 FINISH MATERIAL POLLUTANT CONTROL.</b> Finish materials shall comply with this section.																																																																
4.504.2.1 <b>Adhesives, Sealants and Caulks.</b> Adhesives, sealant and caulk used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply.																																																																
1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulk shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.2 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.																																																																
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commanding with section 94507.																																																																
4.504.2.2 <b>Paints and Coatings.</b> Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.																																																																
4.504.2.3 <b>Aerosol Paints and Coatings.</b> Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC in Section 94522(e)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commanding with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.																																																																
4.504.2.4 <b>Verification.</b> Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:																																																																
1. Manufacturer's product specification. 2. Field verification of on-site product containers.																																																																
<b>TABLE 4.504.1 - ADHESIVE VOC LIMIT.<sub>1,2</sub></b> (Less Water and Less Exempt Compounds in Grams per Liter)																																																																
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2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.																																																																

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<b>TABLE 4.504.2 - SEALANT VOC LIMIT</b> (Less Water and Less Exempt Compounds in Grams per Liter)																																																																																																																																								
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2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).														
<b>CHAPTER 7</b> <b>INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATIONS</b>														
<b>702 QUALIFICATIONS</b>														
702.1 <b>INSTALLER TRAINING.</b> HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:														
1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.														
<b>702.2 SPECIAL INSPECTION [HCD].</b> When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:														
1. Certification by a national or state green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.														
<b>NOTES:</b>														
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).														
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<b>703 VERIFICATIONS</b>														
<b>703.1 DOCUMENTATION.</b> Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans,														

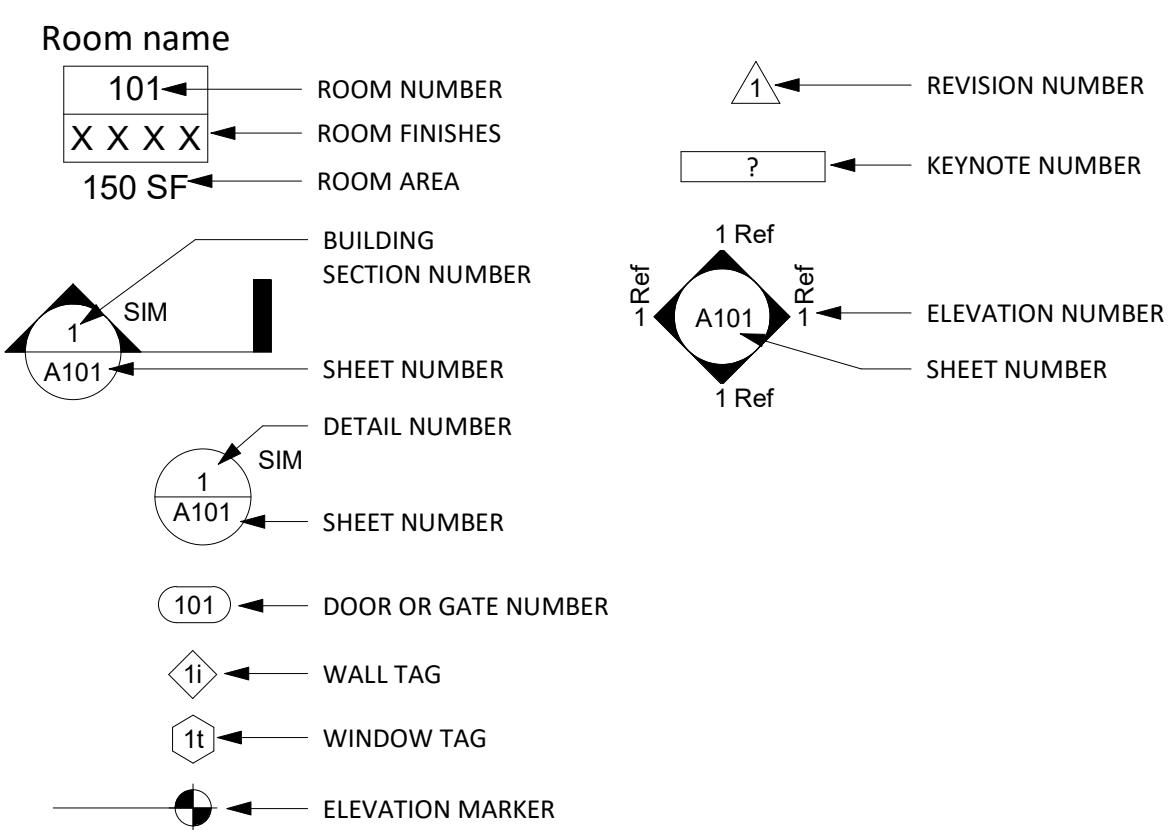
## ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHING AT ROOF/WALL INTERSECTIONS AND AROUND ROOF OPENINGS.
5. GANG VENTS WHENEVER POSSIBLE.
6. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.
7. INSTALL SNOW GUARDS AT METAL ROOFS PER MFG'S. INSTRUCTIONS
8. INSTALL ICE DAM PROTECTION AT ALL ROOF EAVES, VALLEYS AND PITCH CHANGES PER PLUMAS COUNTY AMENDMENTS TO CBC 1507.2.8.2. SEE EAVE DETAILS.

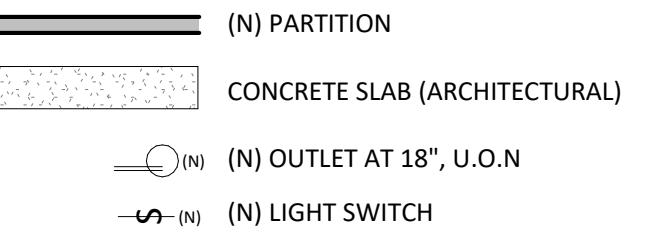
## FLOOR PLAN NOTES

1. FLOORPLAN DIMENSIONS ARE TO FACE OF FRAMING OF SCHEDULED PARTITION OR GRIDLINE, UNLESS OTHERWISE NOTED.
2. GRIDLINES ARE TO EDGE OF CONCRETE OR FACE OF STRUCTURAL FRAMING, UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE TYPE A1 UNLESS OTHERWISE NOTED.
4. SEE SHEET A5.0 FOR EXTERIOR WALL TYPES AND DETAILS.
5. PROVIDE HANGER ROD AND SHELF AT WARDROBE CLOSETS.
6. WHERE THRESHOLDS ARE REQUIRED, PROVIDE ACCESSIBLE THRESHOLDS WITH MAXIMUM 1/2" ELEVATION CHANGE.
7. PROVIDE STRUCTURAL BACKING IN WALLS TO FACILITATE FUTURE INSTALLATION OF GRAB BARS AT TOILET AND SHOWER.
8. SHOWER/TUB FINISH TO BE CERAMIC TILE OVER 1/2" CEMENTITIOUS BACKER BOARD IN ACCORDANCES WITH CRC R702.
9. FLOOR IN BATHROOM TO BE NON-SLIP CERAMIC TILE.
10. SHOWER WALL SURFACES SHALL BE FINISHED WITH A
11. NONABSORBENT SURFACE, SUCH SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (72 INCHES) ABOVE THE FLOOR. (CRC R307.2)
12. TOILETS SHALL HAVE A MINIMUM 30" (15" EACH SIDE FROM CENTER) AND 24" CLEAR FROM FRONT.
13. CONTRACTOR TO VERIFY LAYOUT, ROUGH FRAMING AND FINISH DIMS WITH OWNER'S FINAL INTERIOR DOORS AND FINISH SELECTIONS.
14. CONTRACTOR TO VERIFY EQUIPMENT SIZES PRIOR TO FRAMING.

## GRAPHIC LEGEND



## FLOORPLAN LEGEND



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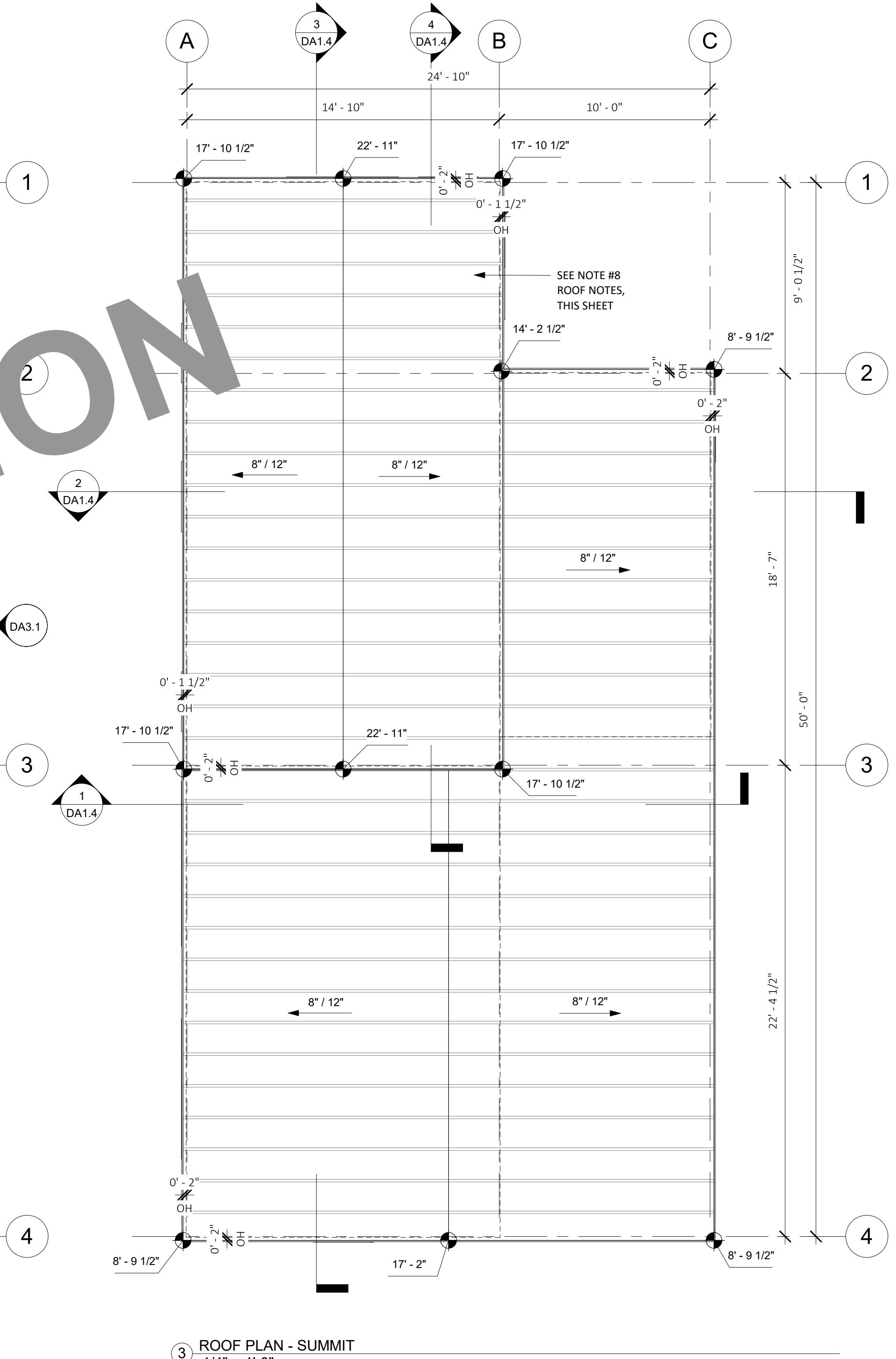
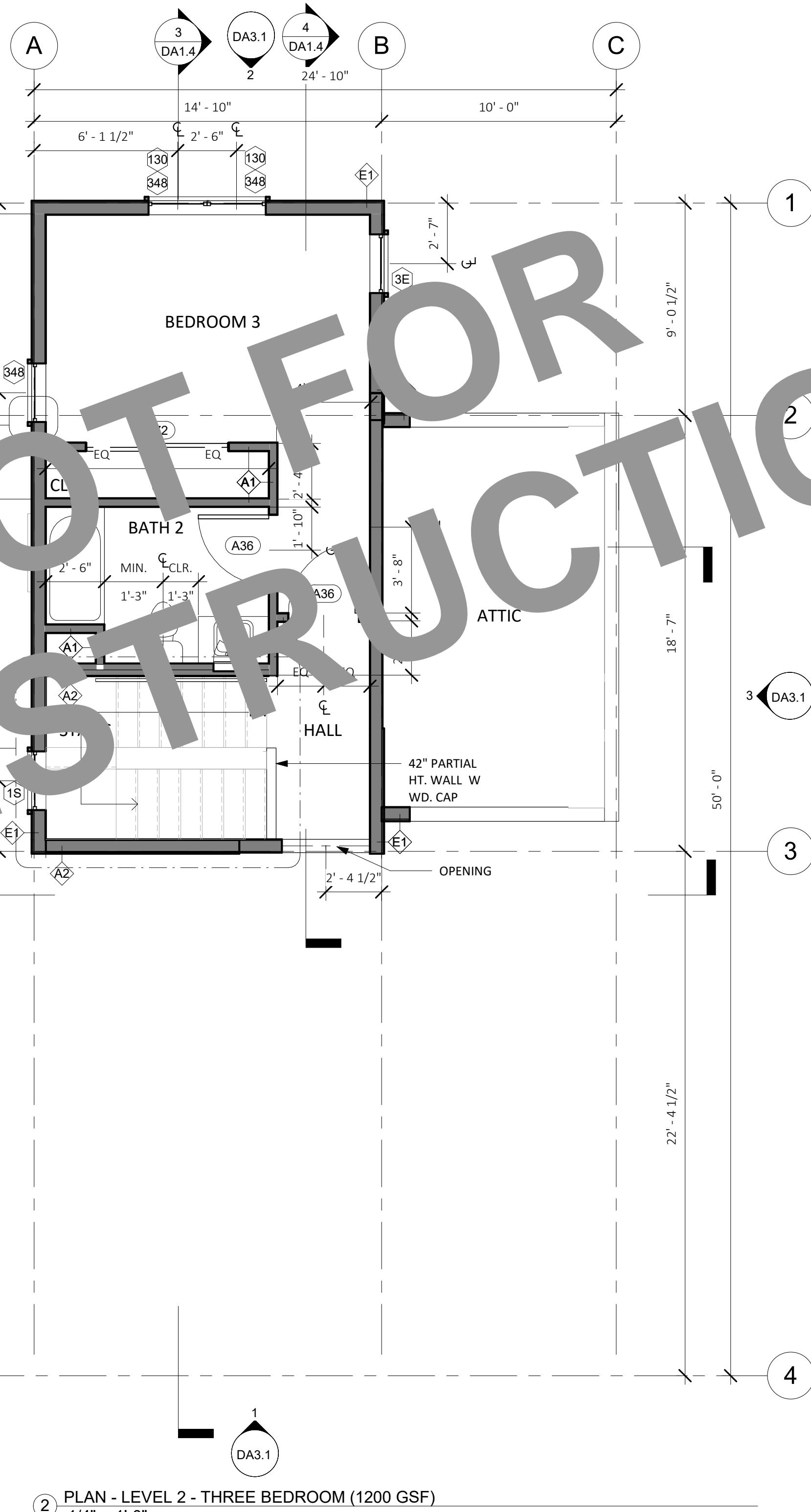
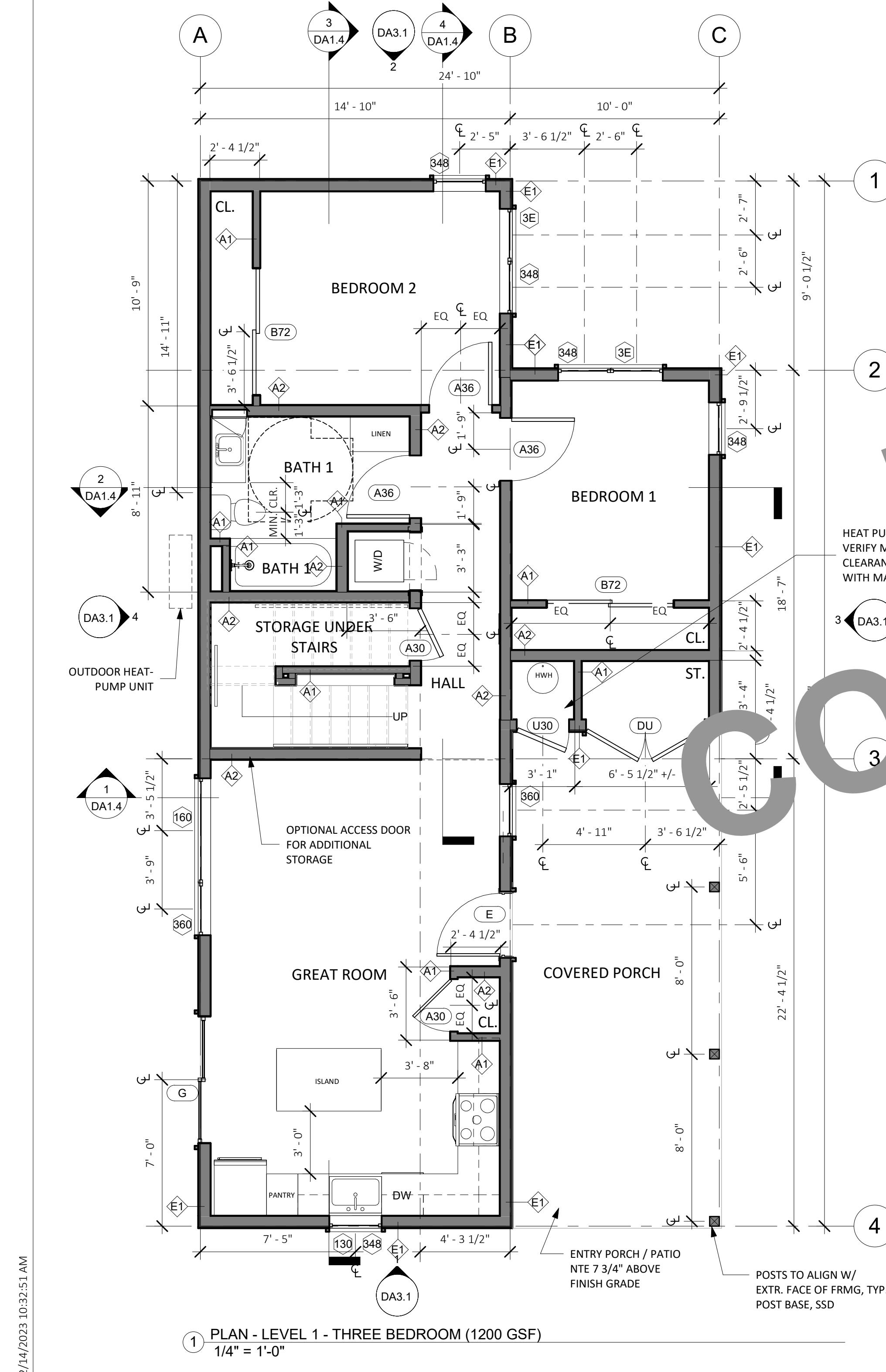
# PLUMAS COUNTY PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU  
1200 GSF

NOT FOR  
CONSTRUCTION

D - SUMMIT -  
FLOORPLANS & ROOF  
PLAN

A1.0



SCALE : AS NOTED



workbench

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PLUMAS COUNTY  
PRE-DESIGNED ADU

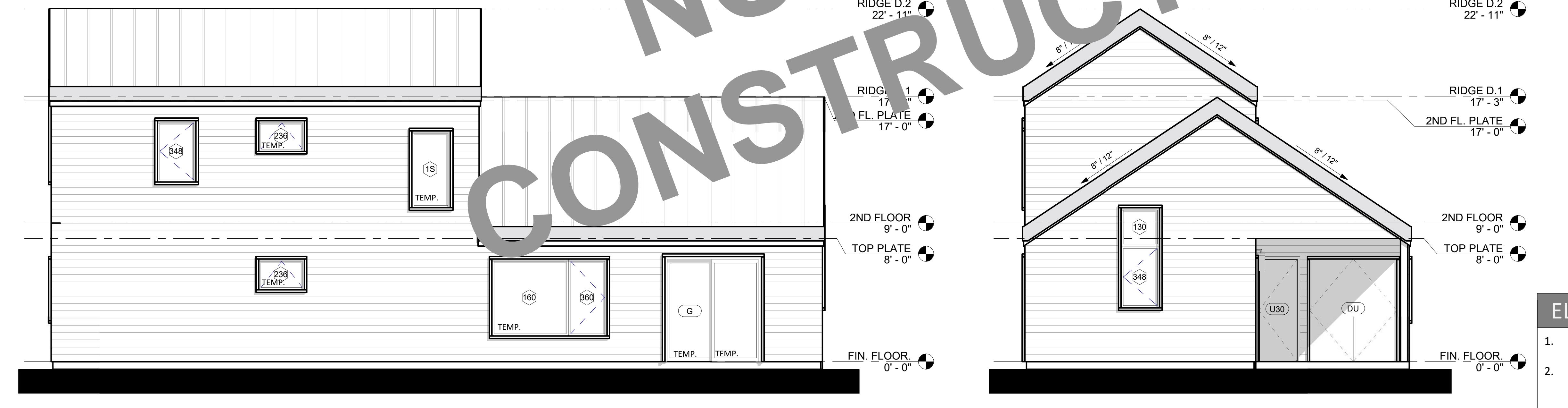
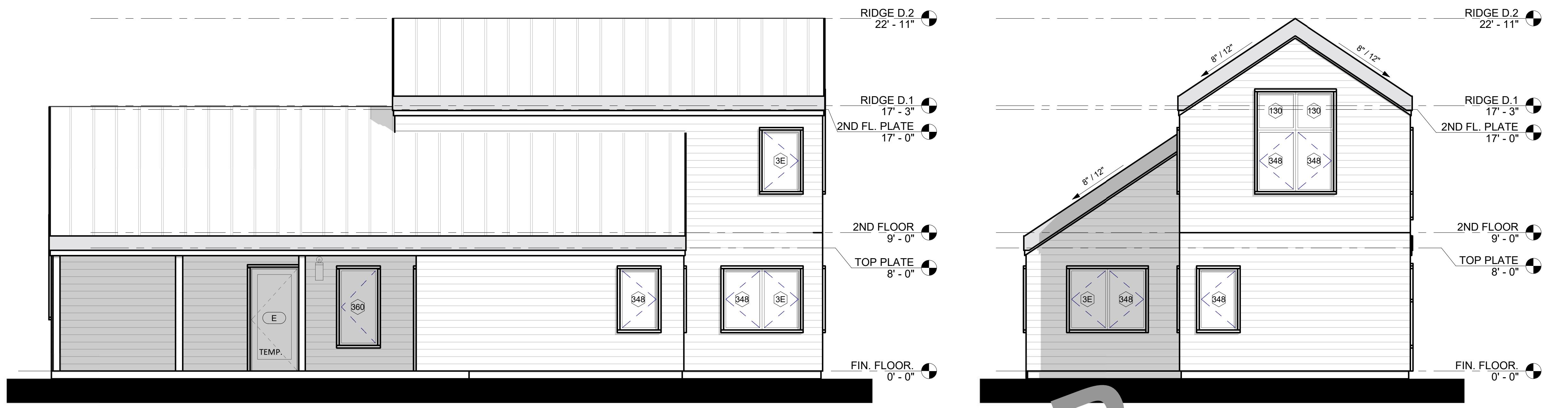
PLAN D - THREE BEDROOM ADU  
1200 GSF

NOT FOR  
CONSTRUCTION

D - SUMMIT -  
ELEVATIONS

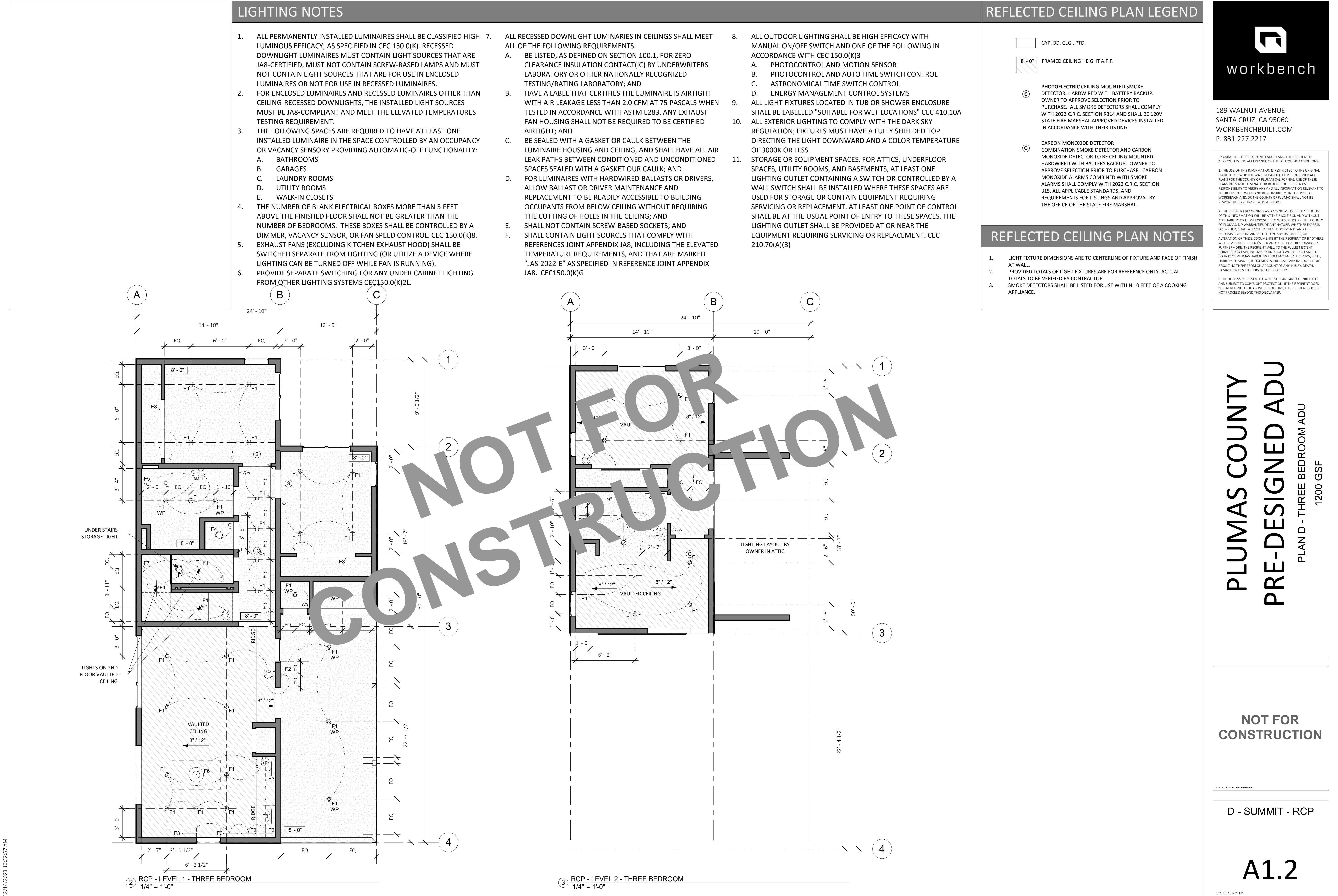
A1.1

SCALE : AS NOTED



#### ELEVATION NOTES

- ELEVATION DIMENSIONS ARE TO GRIDLINE OR CENTERLINE OF WINDOWS, UNLESS OTHERWISE NOTED.
- GRIDLINES ARE TO EDGE OF CONCRETE, CENTERLINE OF FOOTING, OR CENTERLINE OF STRUCTURAL ELEMENTS, UNLESS OTHERWISE NOTED.
- SEE SHEET A5.0 FOR EXTERIOR WALL TYPES AND DETAILS.
- MATERIALS INDICATED ARE SHOWN GENERICALLY. ACTUAL MATERIALS ARE AS SELECTED BY THE OWNER.
- BUILDING HEIGHT MAXIMUM SHALL BE 35'-0" ABOVE AVERAGE NATURAL GRADE.
- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL. CRC327.1.4





workbench  
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## ELECTRICAL LEGEND

CEILING-MOUNTED EXHAUST UNIT	MS MOTION-SENSOR SWITCH
DUPLEX RECEPTACLE	VS VACANCY SWITCH
QUAD RECEPTACLE	F FAN SWITCH/HUMIDITY SENSOR
GFCI RECEPTACLE	SWITCH LEG
220 VOLT RECEPTACLE OUTLET	WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS
DEDICATED OUTLET	3 WAY SWITCH
RECESSED LED DOWN LIGHT	NOTE: SEE ELECTRICAL NOTES ON SHEET G1.0
WALL MOUNT LIGHT	
LED STRIP LIGHT	
SWITCH	
DIMMER SWITCH	

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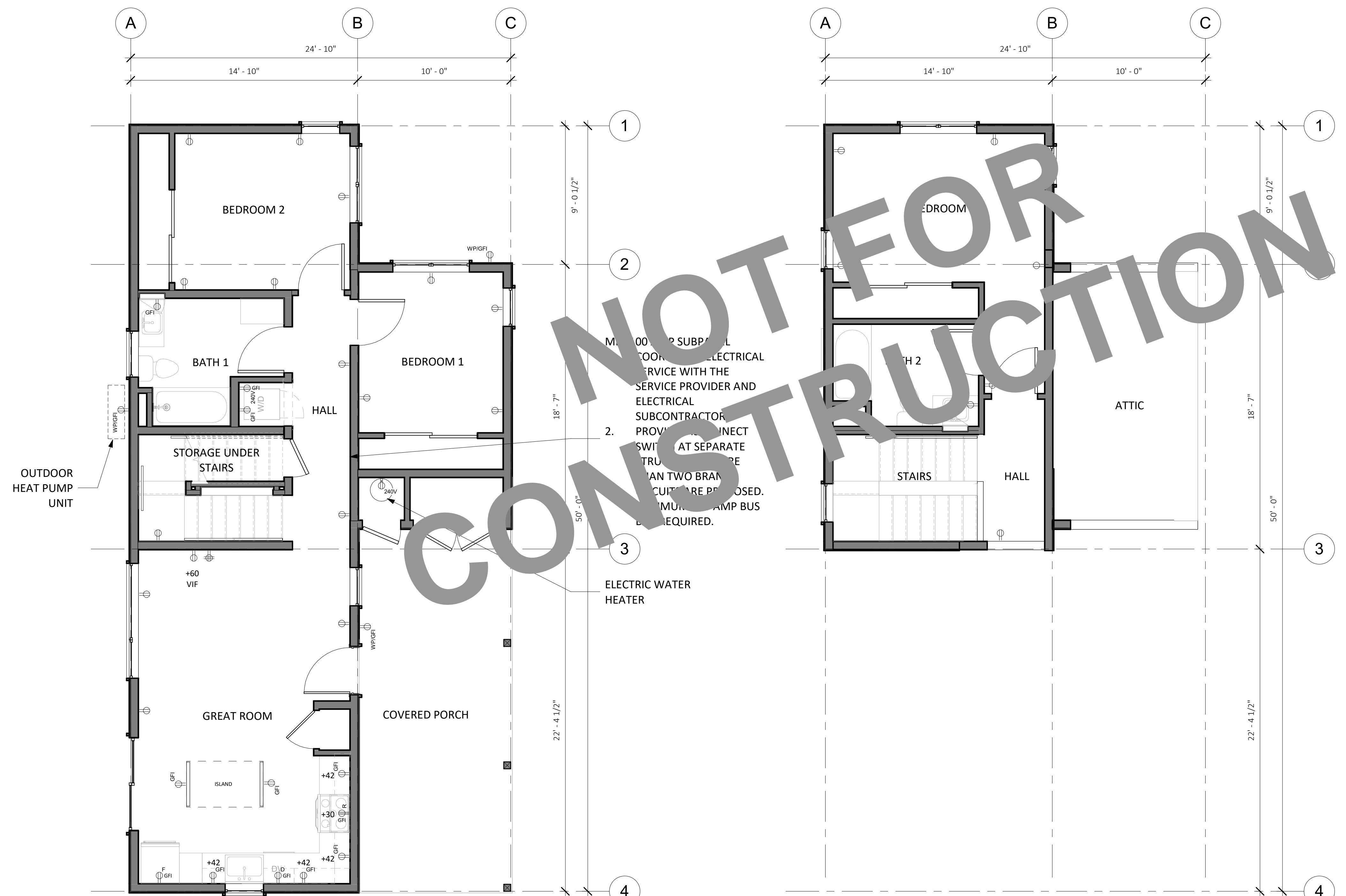
PLUMAS COUNTY  
PRE-DESIGNED ADU  
PLAN D - THREE BEDROOM ADU  
1200 GSF

NOT FOR  
CONSTRUCTION

D - SUMMIT -  
ELECTRICAL

A1.3

SCALE : AS NOTED





workbench

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PLUMAS COUNTY  
PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU  
1200 GSF

NOT FOR  
CONSTRUCTION

D - SUMMIT -  
SECTIONS

A1.4

SCALE : AS NOTED

## KITCHEN KEYNOTES

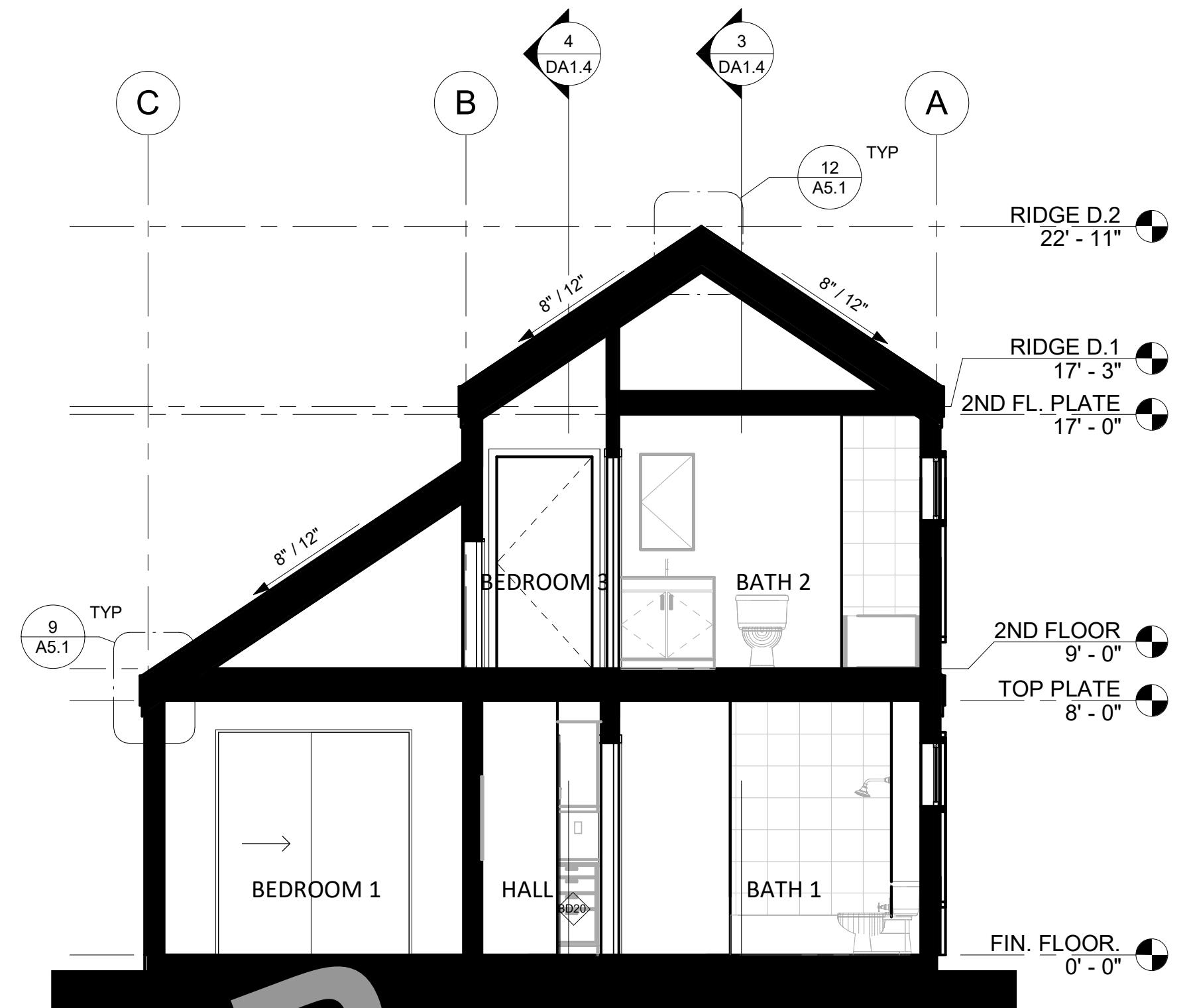
TAG	DESCRIPTION
CABINET WIDTH	
B16	16" BASE CABINET
B32	32" BASE CABINET
BD18	18" BASE CABINET - DRAWERS
BD20	20" BASE CABINET - DRAWERS
BS30	30" BASE CABINET
U18	18" UPPER CABINET
U24	24" UPPER CABINET
U28	28" UPPER CABINET
U32	27" UPPER CABINET
U32	32" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

## APPLIANCES

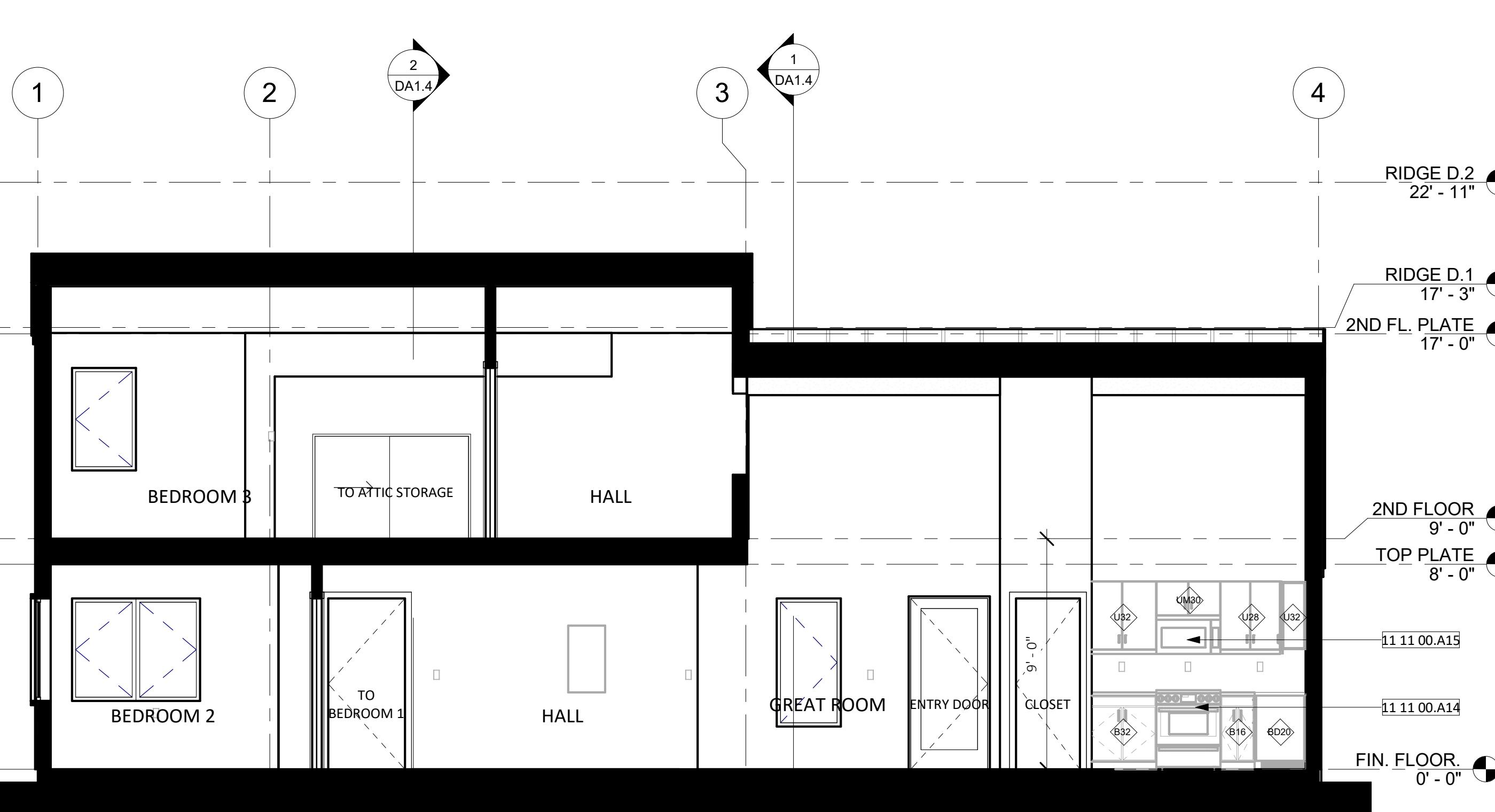
11 11 00.A1	24" CLOTHES DRYER (HOMEOWNER PROVIDED)
11 11 00.A2	24" CLOTHES WASHER (HOMEOWNER PROVIDED)
11 11 00.A4	24" DISHWASHER
11 11 00.A8	24" STACKED CLOTHES DRYER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A9	30" REFRIGERATOR

## PLUMBING

22 40 00.A4	30" KITCHEN SINK/FAUCET
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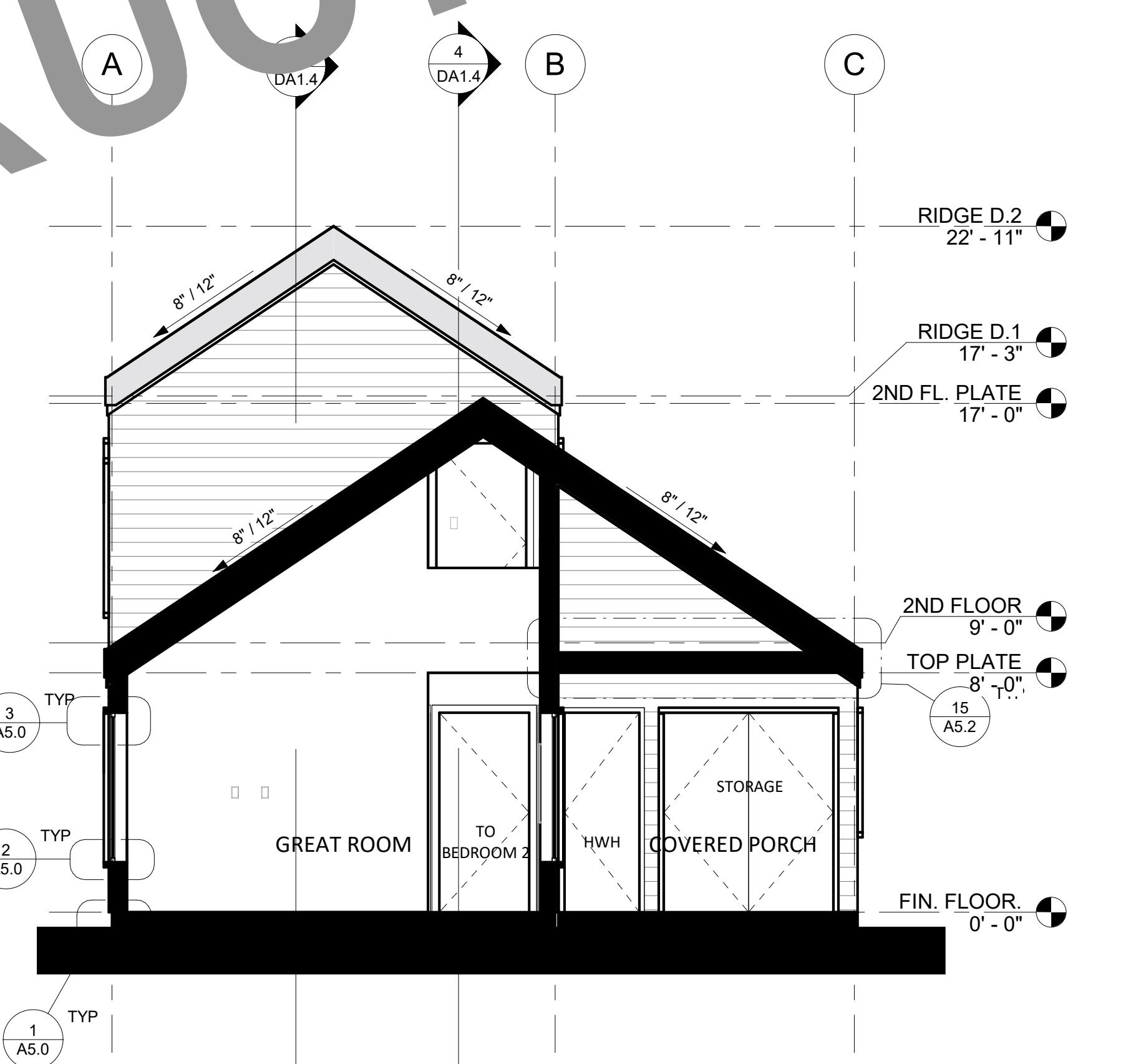


② CROSS SECTION 2 - SUMMIT



④ LONGITUDINAL SECTION 2 - SUMMIT  
1/4" = 1'-0"

NOT FOR  
CONSTRUCTION



① CROSS SECTION 1 - SUMMIT  
1/4" = 1'-0"

①

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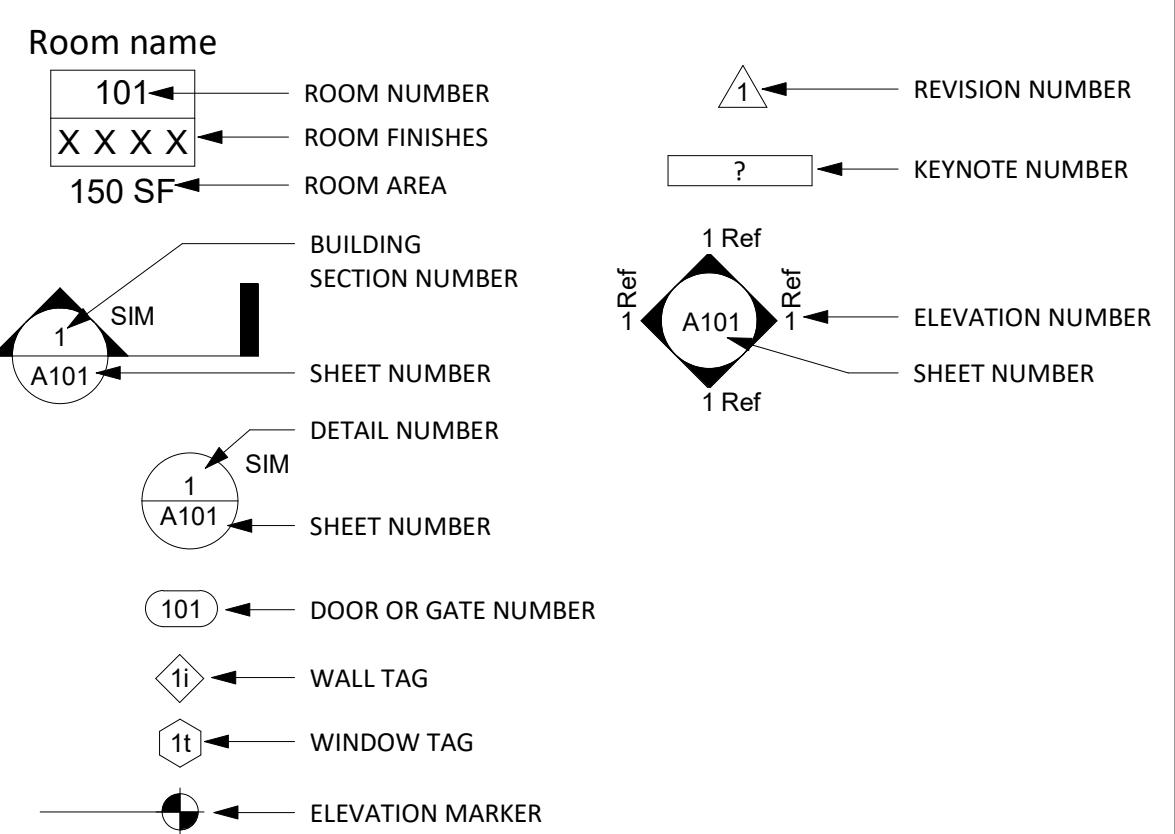
## ROOF PLAN NOTES

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3. WOOD SHINGLES SHALL NOT BE USED.
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5. GANG VENTS WHENEVER POSSIBLE.
6. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.
7. INSTALL SNOW GUARDS AT METAL ROOFS PER MFG'S. INSTRUCTIONS
8. INSTALL ICE DAM PROTECTION AT ALL ROOF EAVES, VALLEYS AND PITCH CHANGES PER PLUMAS COUNTY AMENDMENTS TO CBC 1507.2.8.2. SEE EAVE DETAILS.

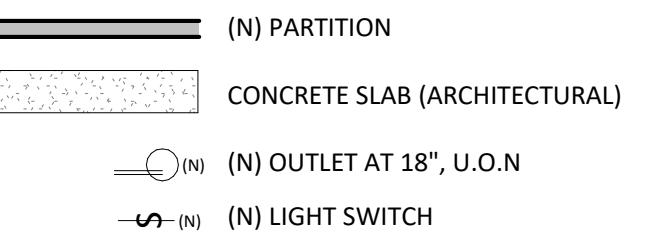
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14. CONTRACTOR TO VERIFY EQUIPMENT SIZES PRIOR TO FRAMING.

## GRAPHIC LEGEND



## FLOORPLAN LEGEND



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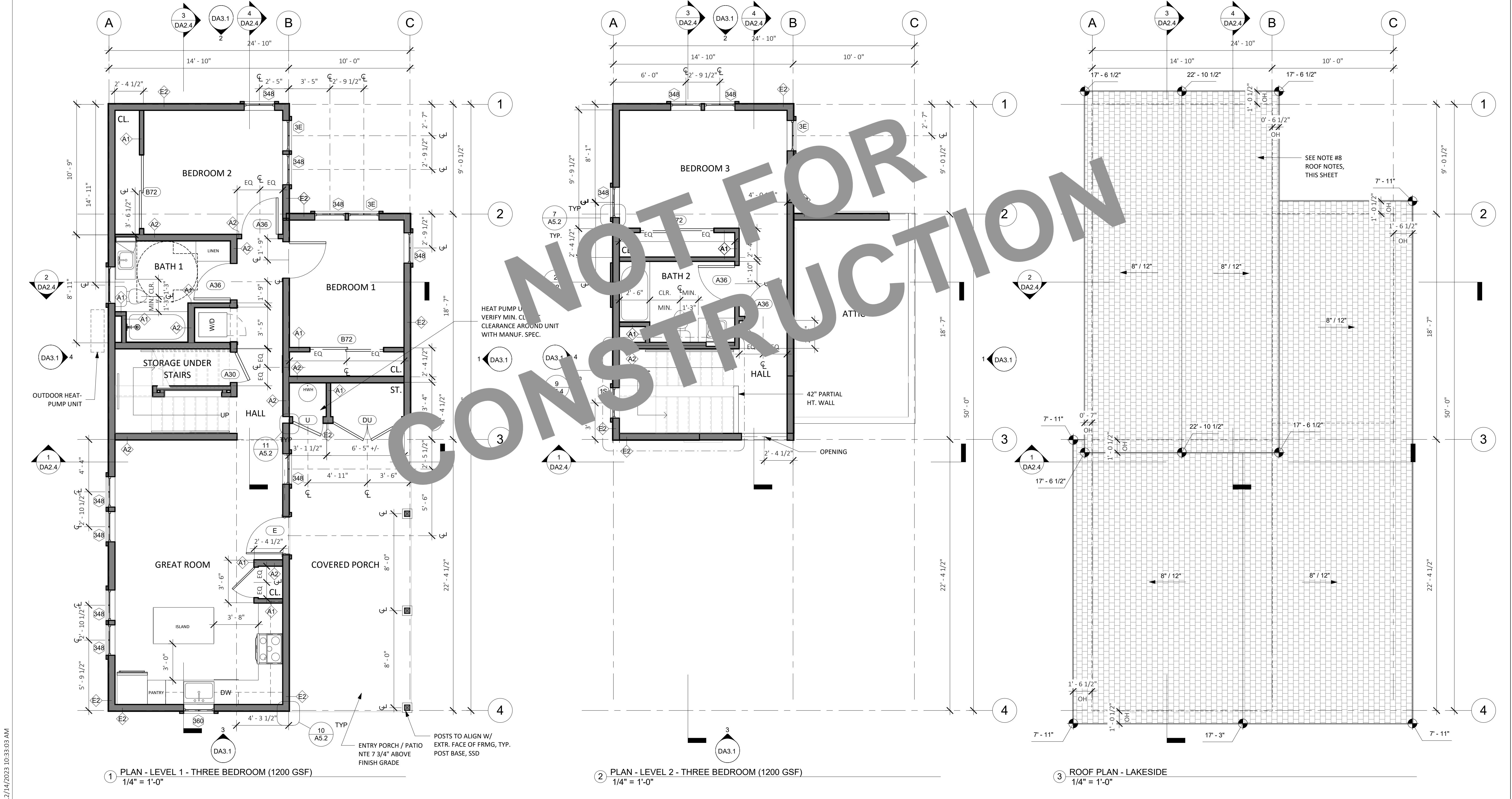
# PLUMAS COUNTY PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU  
1200 GSF

NOT FOR  
CONSTRUCTION

D - LAKESIDE -  
FLOORPLANS & ROOF  
PLAN

A2.0





workbench

189 WALNUT AVENUE  
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PLUMAS COUNTY  
PRE-DESIGNED ADU  
PLAN D - THREE BEDROOM ADU  
1200 GSF

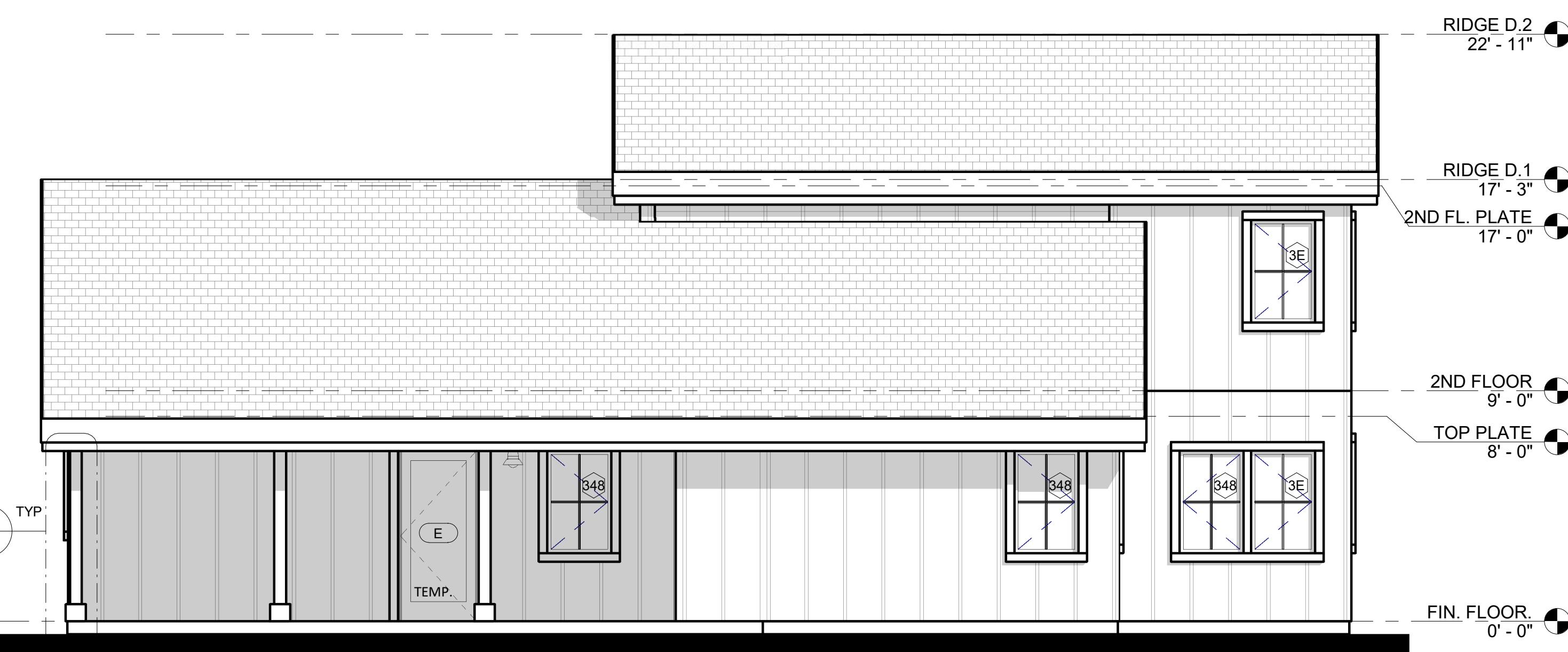
NOT FOR  
CONSTRUCTION

D - LAKESIDE -  
ELEVATIONS

A2.1

SCALE : AS NOTED

CONSTRUCTION



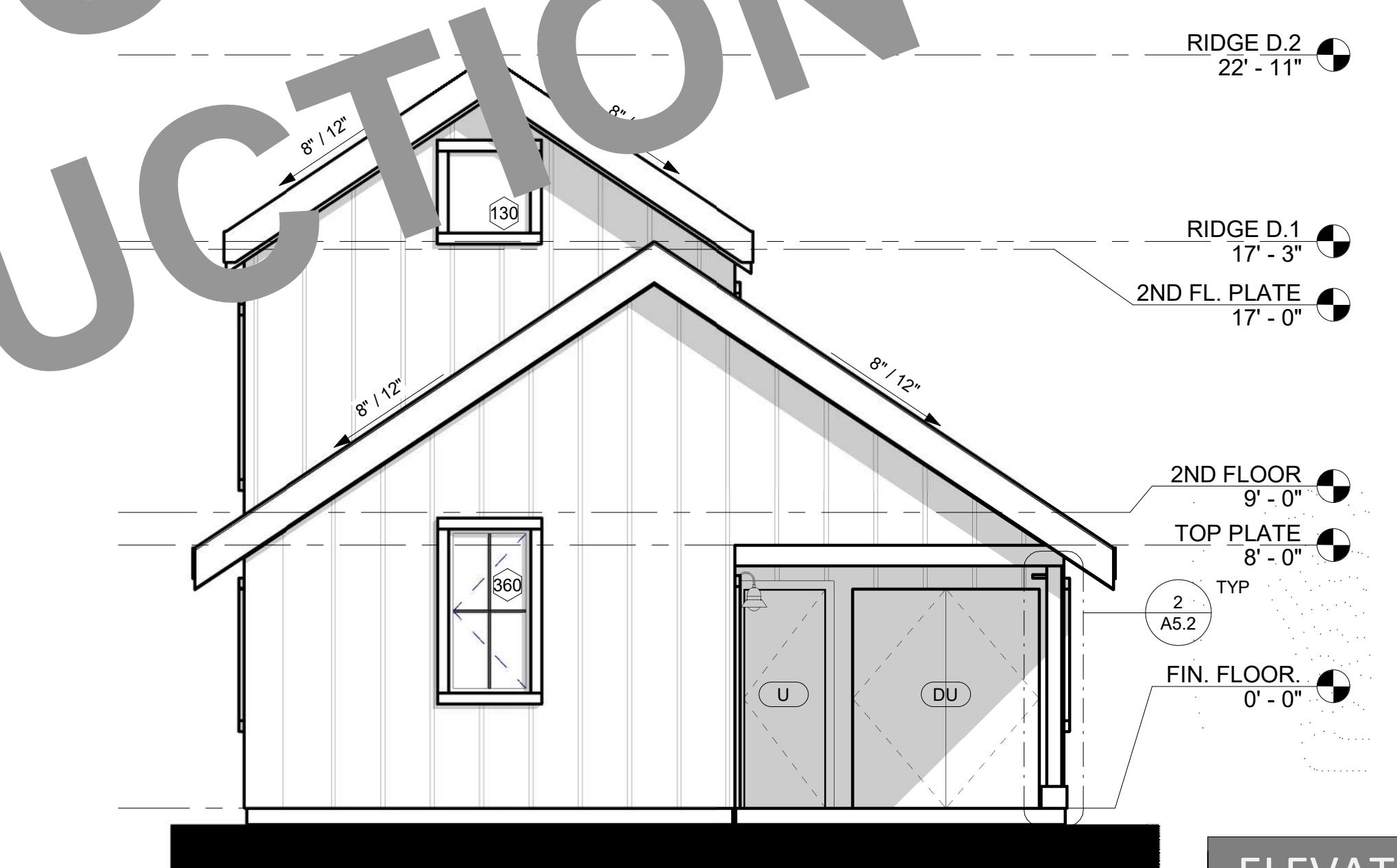
① RIGHT ELEVATION - LAKESIDE  
1/4" = 1'-0"



② REAR ELEVATION - LAKESIDE  
1/4" = 1'-0"



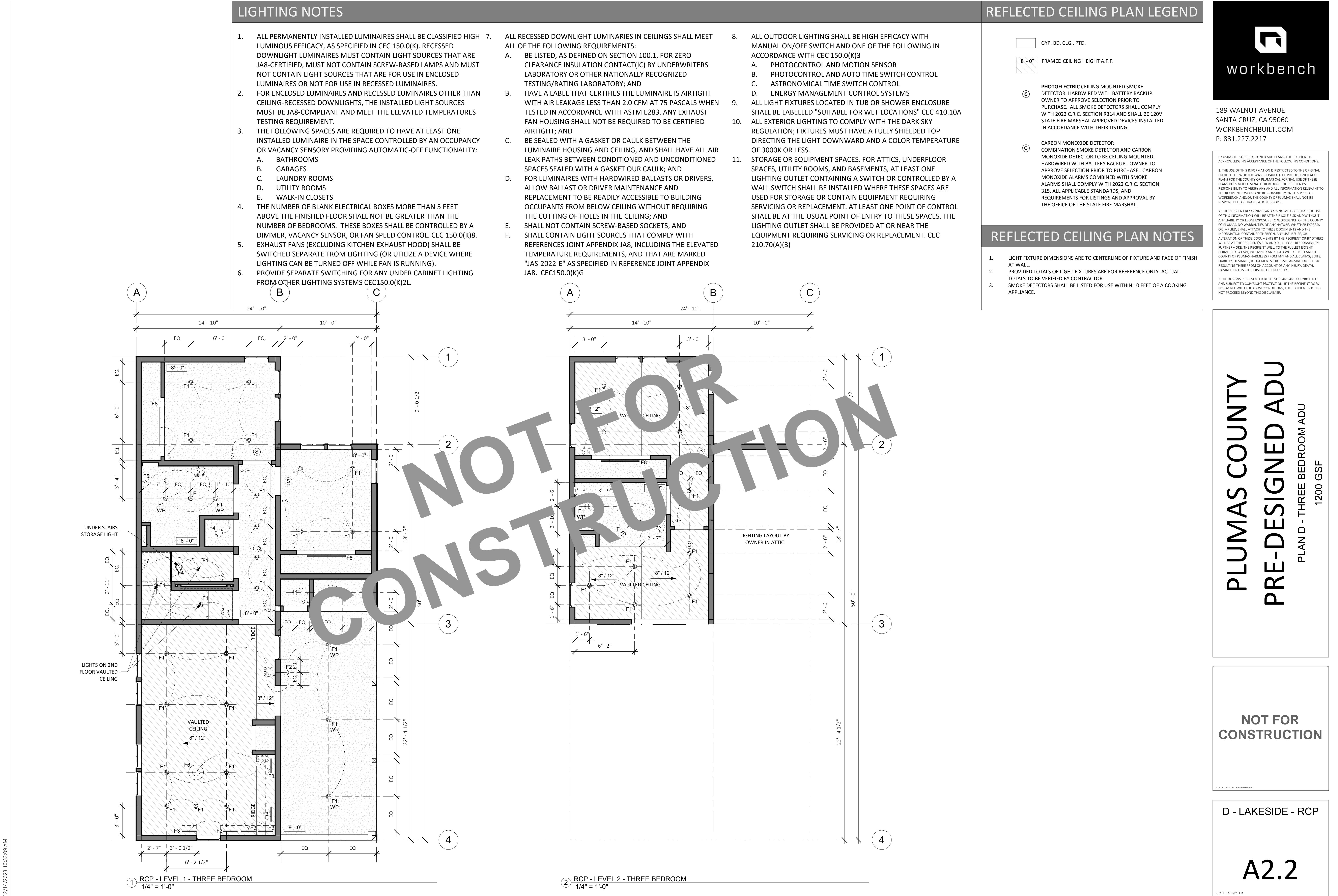
④ LEFT ELEVATION - LAKESIDE  
1/4" = 1'-0"



③ FRONT ELEVATION - LAKESIDE  
1/4" = 1'-0"

#### ELEVATION NOTES

- ELEVATION DIMENSIONS ARE TO GRIDLINE OR CENTERLINE OF WINDOWS, UNLESS OTHERWISE NOTED.
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- SEE SHEET A5.0 FOR EXTERIOR WALL TYPES AND DETAILS.
- MATERIALS INDICATED ARE SHOWN GENERICALLY. ACTUAL MATERIALS ARE AS SELECTED BY THE OWNER.
- BUILDING HEIGHT MAXIMUM SHALL BE 35'-0" ABOVE AVERAGE NATURAL GRADE.
- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL. CRC327.1.4





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## ELECTRICAL LEGEND

○ CEILING-MOUNTED EXHAUST UNIT	MS MOTION-SENSOR SWITCH
○ DUPLEX RECEPTACLE	VS VACANCY SWITCH
○ QUAD RECEPTACLE	F FAN SWITCH/HUMIDITY SENSOR
○ GFCI RECEPTACLE	SWITCH LEG
○ 220 VOLT RECEPTACLE OUTLET	WHOLE HOUSE VENTILATION FAN PER ASHRAE 62.2, DUCT TO EXTERIOR PER MANUFACTURER'S SPECIFICATIONS
○ DEDICATED OUTLET	
○ RECESSED LED DOWN LIGHT	3 3 WAY SWITCH
○ WALL MOUNT LIGHT	NOTE: SEE ELECTRICAL NOTES ON SHEET G1.0
○ LED STRIP LIGHT	
○ SWITCH	
○ DIMMER SWITCH	

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## PLUMAS COUNTY PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU  
1200 GSF

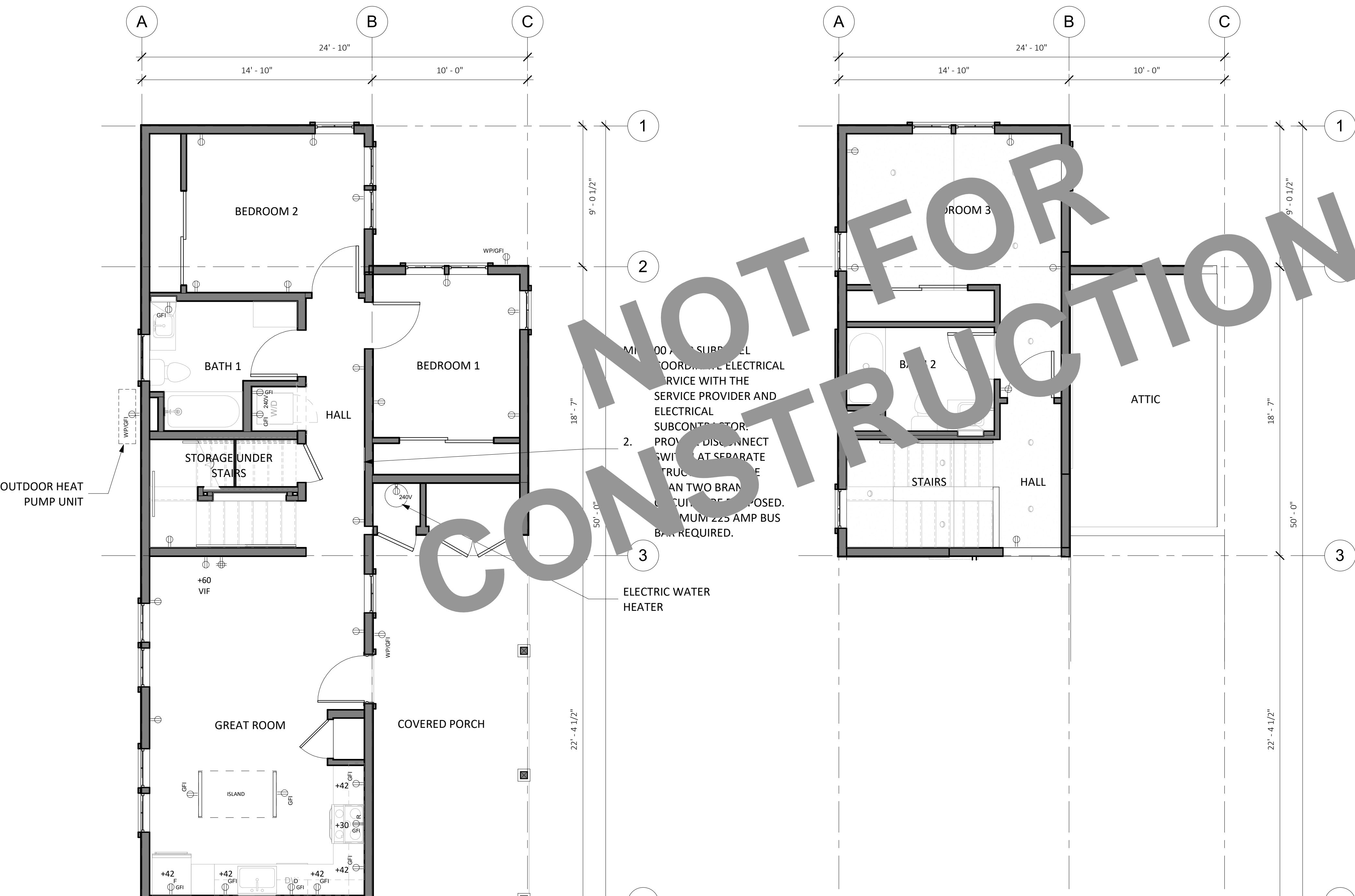
NOT FOR  
CONSTRUCTION

D - LAKESIDE -  
ELECTRICAL

A2.3

SCALE : AS NOTED

CONSTRUCTION



① ELECTRICAL PLAN - LEVEL 1 - THREE BEDROOM  
1/4" = 1'-0"

② ELECTRICAL PLAN - LEVEL 2 - THREE BEDROOM  
1/4" = 1'-0"



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## KITCHEN KEYNOTES

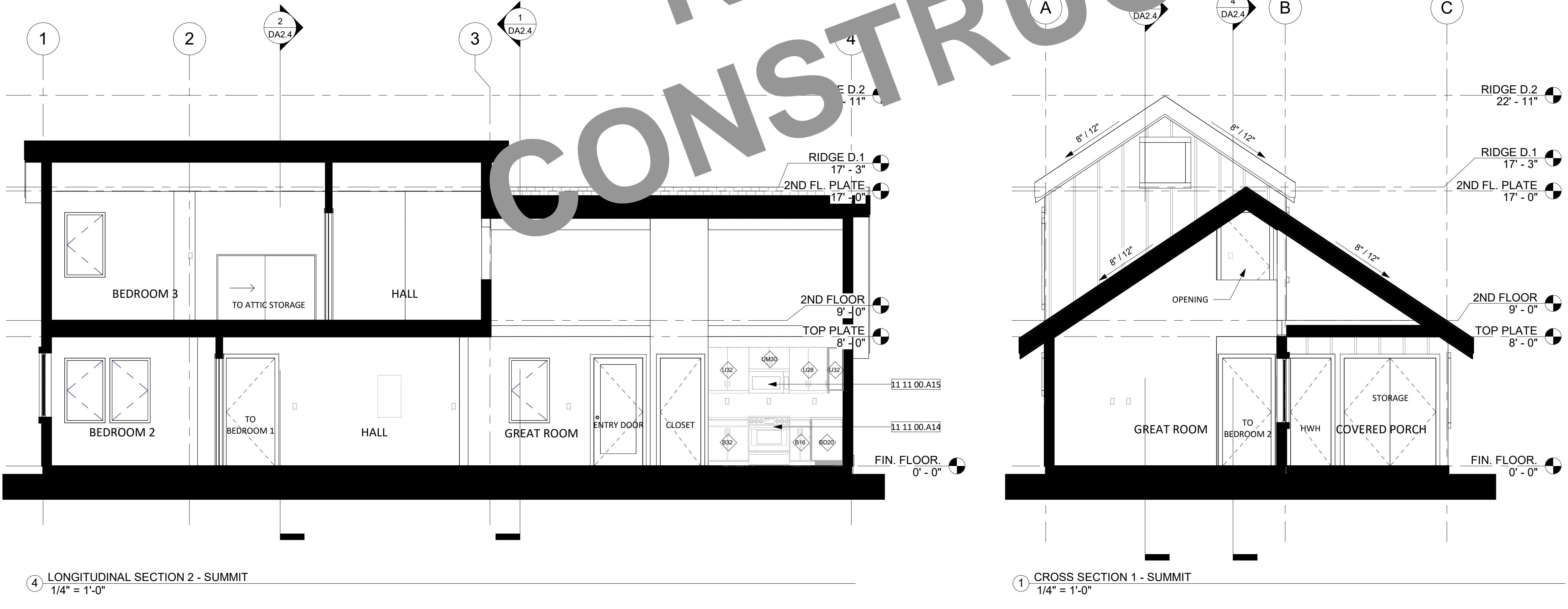
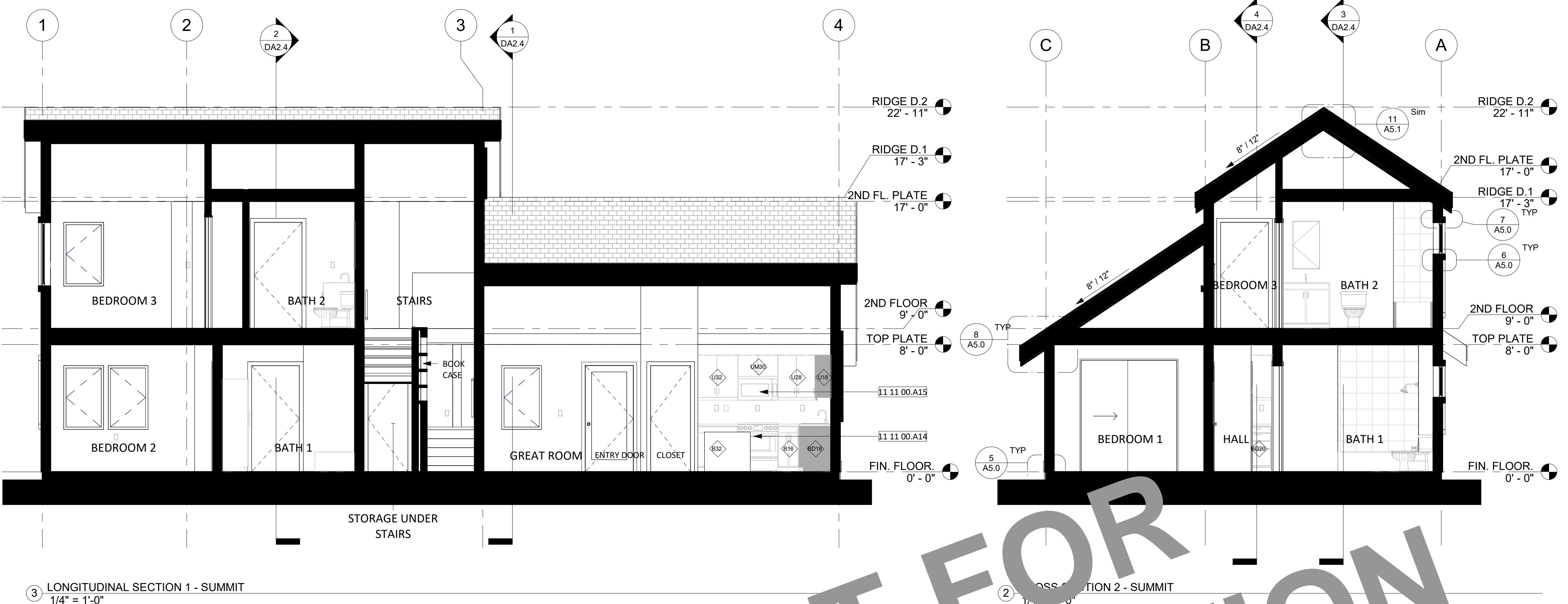
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## APPLIANCES

11 11 00.A1	24" CLOTHES DRYER (HOMEOWNER PROVIDED)
11 11 00.A2	24" CLOTHES WASHER (HOMEOWNER PROVIDED)
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11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A9	30" REFRIGERATOR

## PLUMBING

22 40 00.A4	30" KITCHEN SINK/FAUCET
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## PLUMAS COUNTY PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU  
1200 GSF

NOT FOR  
CONSTRUCTION

D - LAKESIDE -  
SECTIONS

A2.4

SCALE : AS NOTED

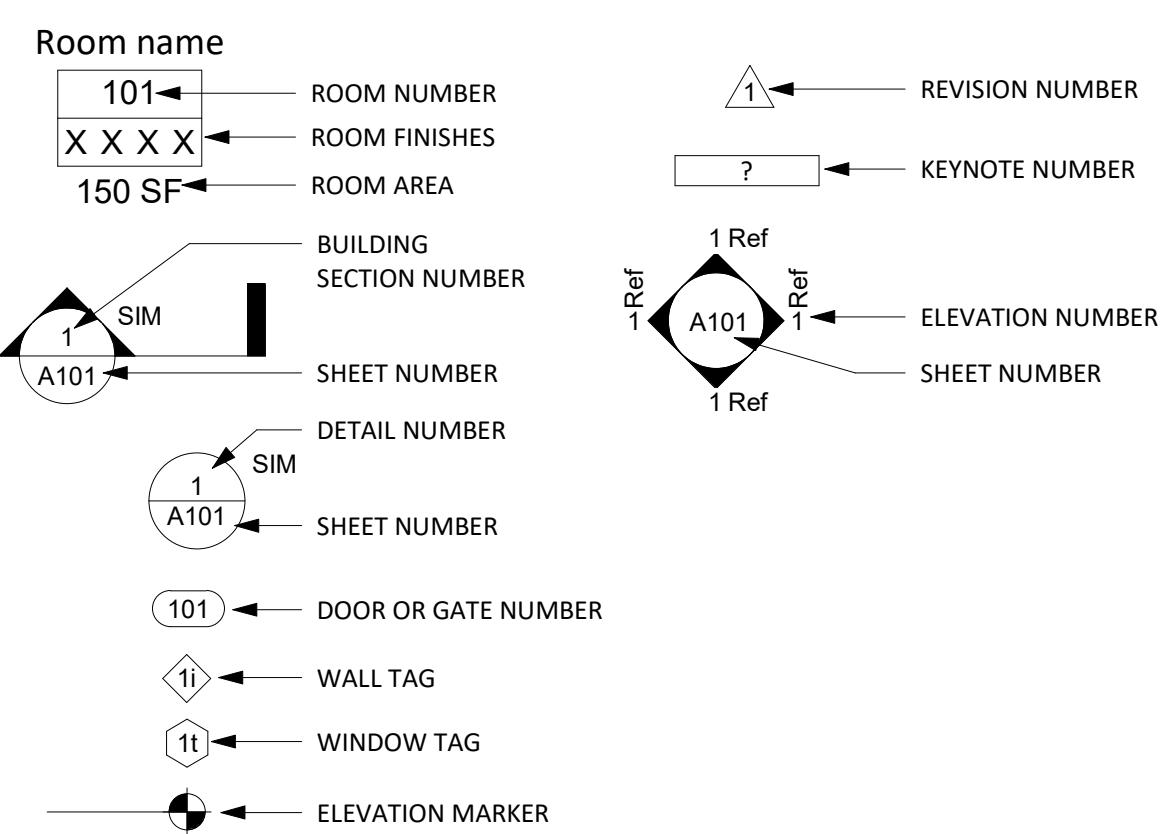
## ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHING AT ROOF/WALL INTERSECTIONS AND AROUND ROOF OPENINGS.
5. GANG VENTS WHENEVER POSSIBLE.
6. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.
7. INSTALL SNOW GUARDS AT METAL ROOFS PER MFG'S. INSTRUCTIONS
8. INSTALL ICE DAM PROTECTION AT ALL ROOF EAVES, VALLEYS AND PITCH CHANGES PER PLUMAS COUNTY AMENDMENTS TO CBC 1507.2.8.2. SEE EAVE DETAILS.

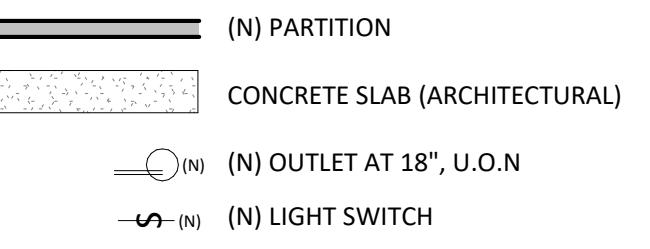
## FLOOR PLAN NOTES

1. FLOORPLAN DIMENSIONS ARE TO FACE OF FRAMING OF SCHEDULED PARTITION OR GRIDLINE, UNLESS OTHERWISE NOTED.
2. GRIDLINES ARE TO EDGE OF CONCRETE OR FACE OF STRUCTURAL FRAMING, UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE TYPE A1 UNLESS OTHERWISE NOTED.
4. SEE SHEET A5.0 FOR EXTERIOR WALL TYPES AND DETAILS.
5. PROVIDE HANGER ROD AND SHELF AT WARDROBE CLOSETS.
6. WHERE THRESHOLDS ARE REQUIRED, PROVIDE ACCESSIBLE THRESHOLDS WITH MAXIMUM 1/2" ELEVATION CHANGE.
7. PROVIDE STRUCTURAL BACKING IN WALLS TO FACILITATE FUTURE INSTALLATION OF GRAB BARS AT TOILET AND SHOWER.
8. SHOWER/TUB FINISH TO BE CERAMIC TILE OVER 1/2" CEMENTITIOUS BACKER BOARD IN ACCORDANCES WITH CRC R702.
9. FLOOR IN BATHROOM TO BE NON-SLIP CERAMIC TILE.
10. SHOWER WALL SURFACES SHALL BE FINISHED WITH A
11. NONABSORBENT SURFACE, SUCH SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (72 INCHES) ABOVE THE FLOOR. (CRC R307.2)
12. TOILETS SHALL HAVE A MINIMUM 30" (15" EACH SIDE FROM CENTER) AND 24" CLEAR FROM FRONT.
13. CONTRACTOR TO VERIFY LAYOUT, ROUGH FRAMING AND FINISH DIMS WITH OWNER'S FINAL INTERIOR DOORS AND FINISH SELECTIONS.
14. CONTRACTOR TO VERIFY EQUIPMENT SIZES PRIOR TO FRAMING.

## GRAPHIC LEGEND



## FLOORPLAN LEGEND



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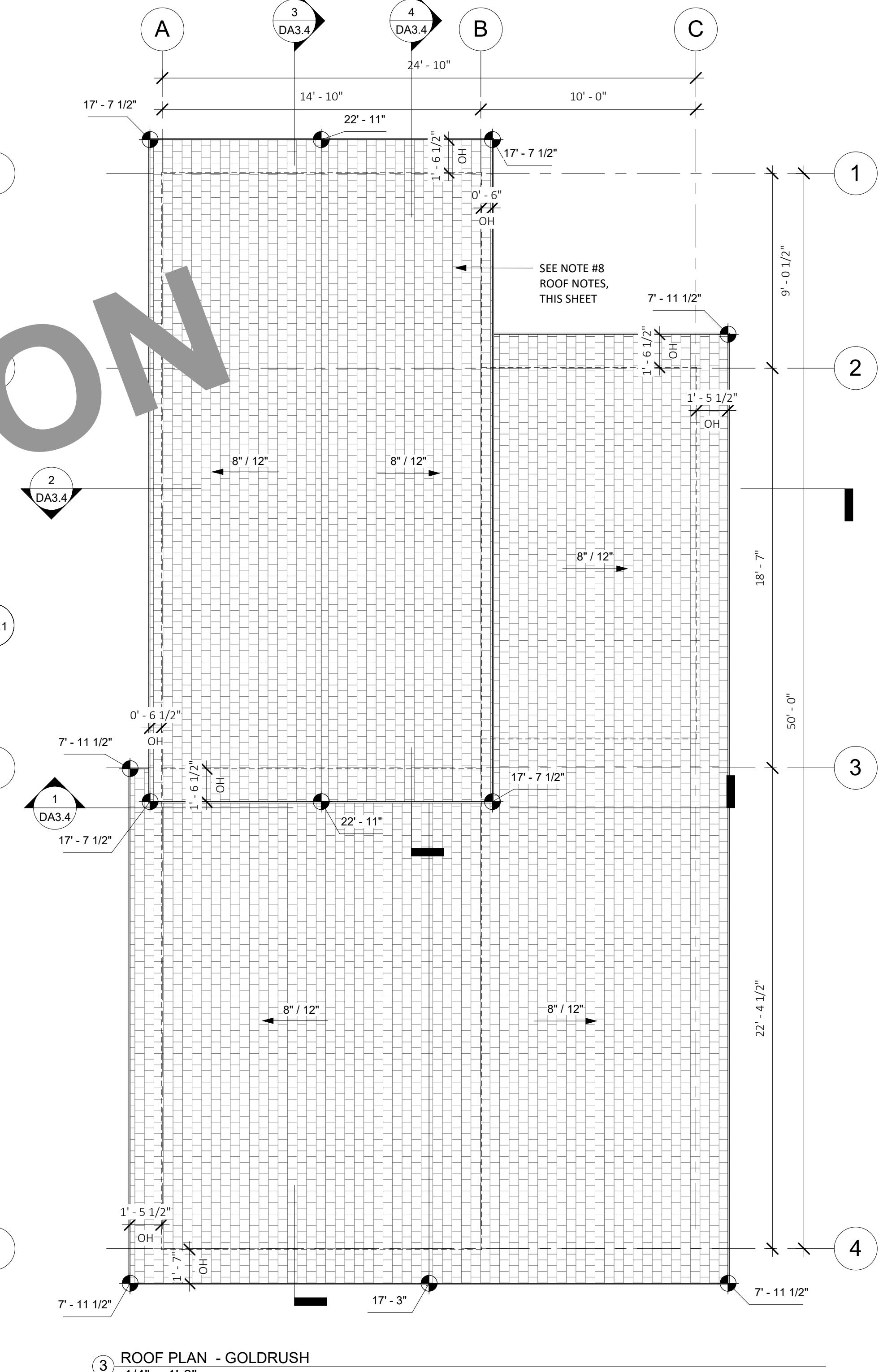
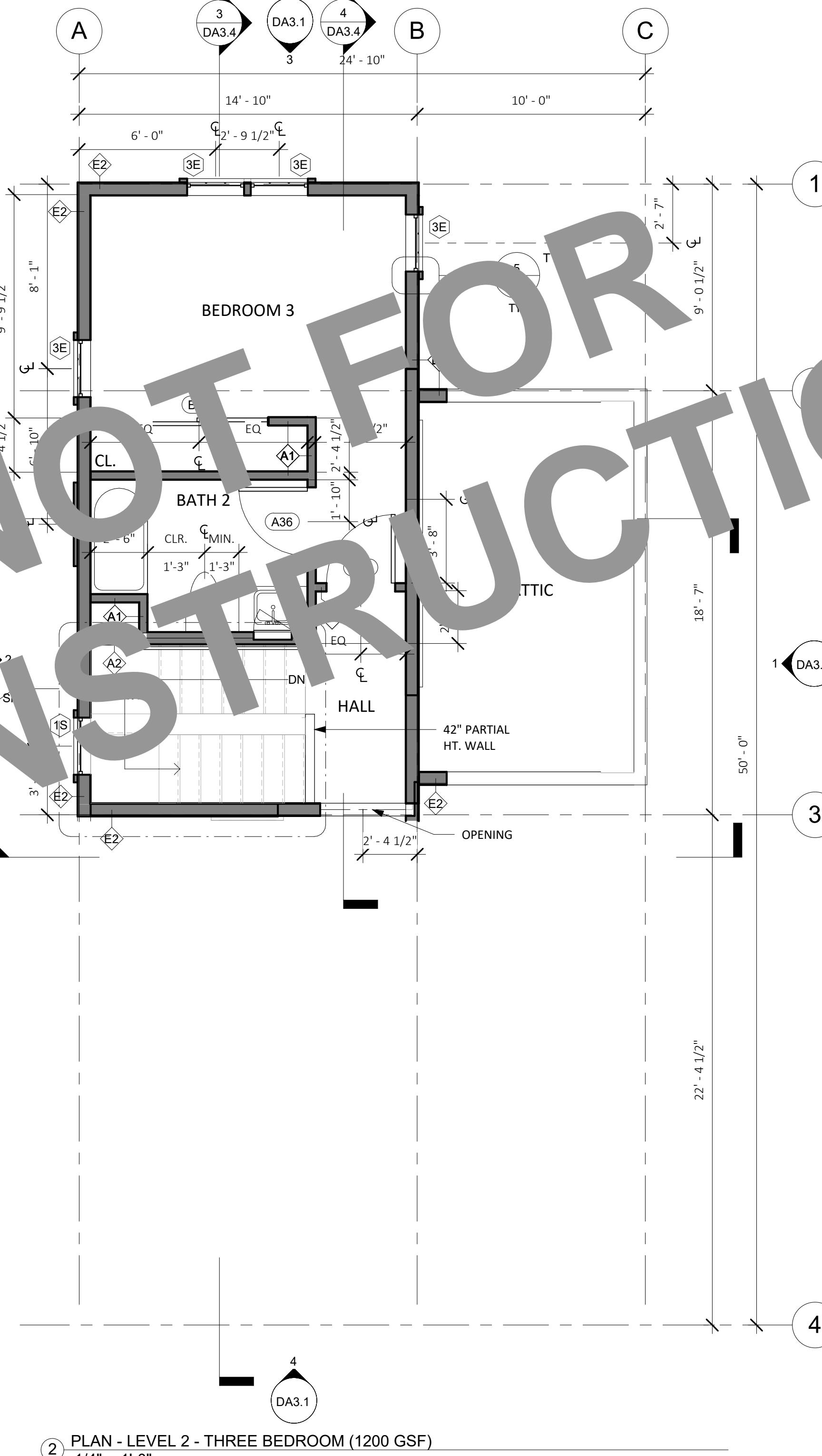
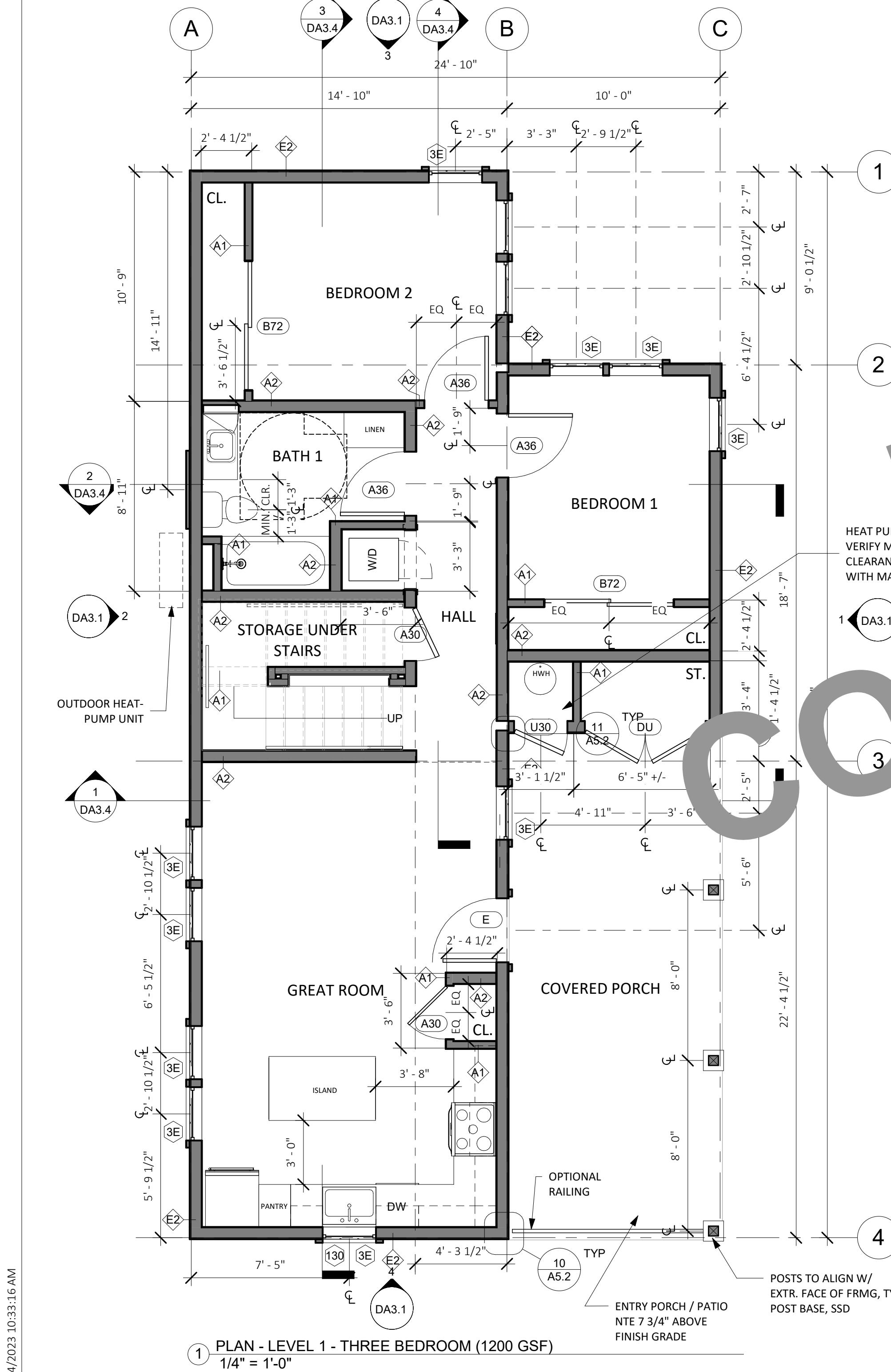
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**PLUMAS COUNTY  
PRE-DESIGNED ADU**  
PLAN D - THREE BEDROOM ADU  
1200 GSF

**NOT FOR  
CONSTRUCTION**

**D - GOLDRUSH -  
FLOORPLANS & ROOF  
PLAN**

**A3.0**





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PLUMAS COUNTY  
PRE-DESIGNED ADU  
PLAN D - THREE BEDROOM ADU  
1200 GSF

NOT FOR  
CONSTRUCTION

D - GOLDRUSH -  
ELEVATIONS

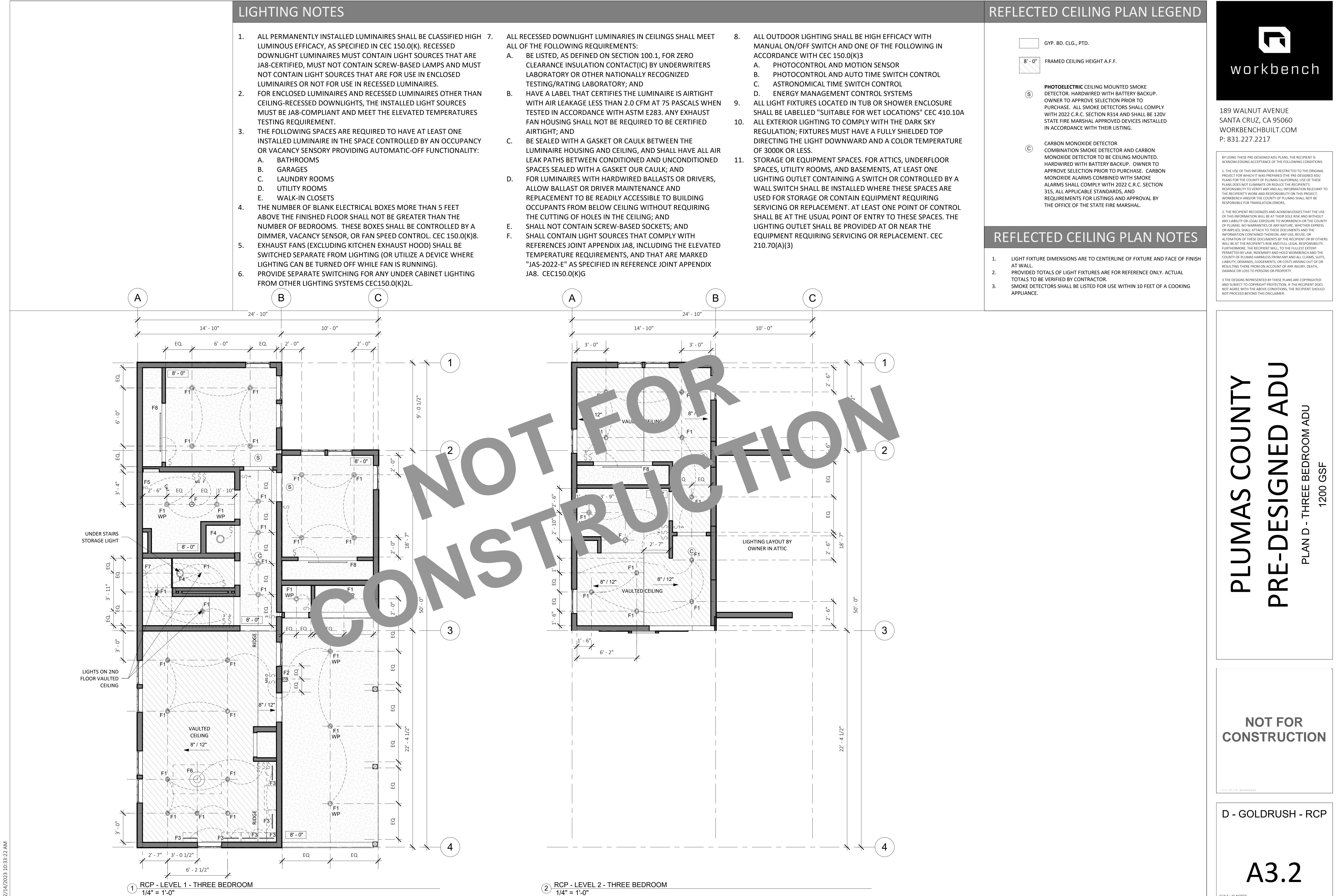
A3.1

#### ELEVATION NOTES

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OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL  
BUTTON OR CONTROL. CRC327.1.4

SCALE : AS NOTED









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# PLUMAS COUNTY PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU  
1200 GSF

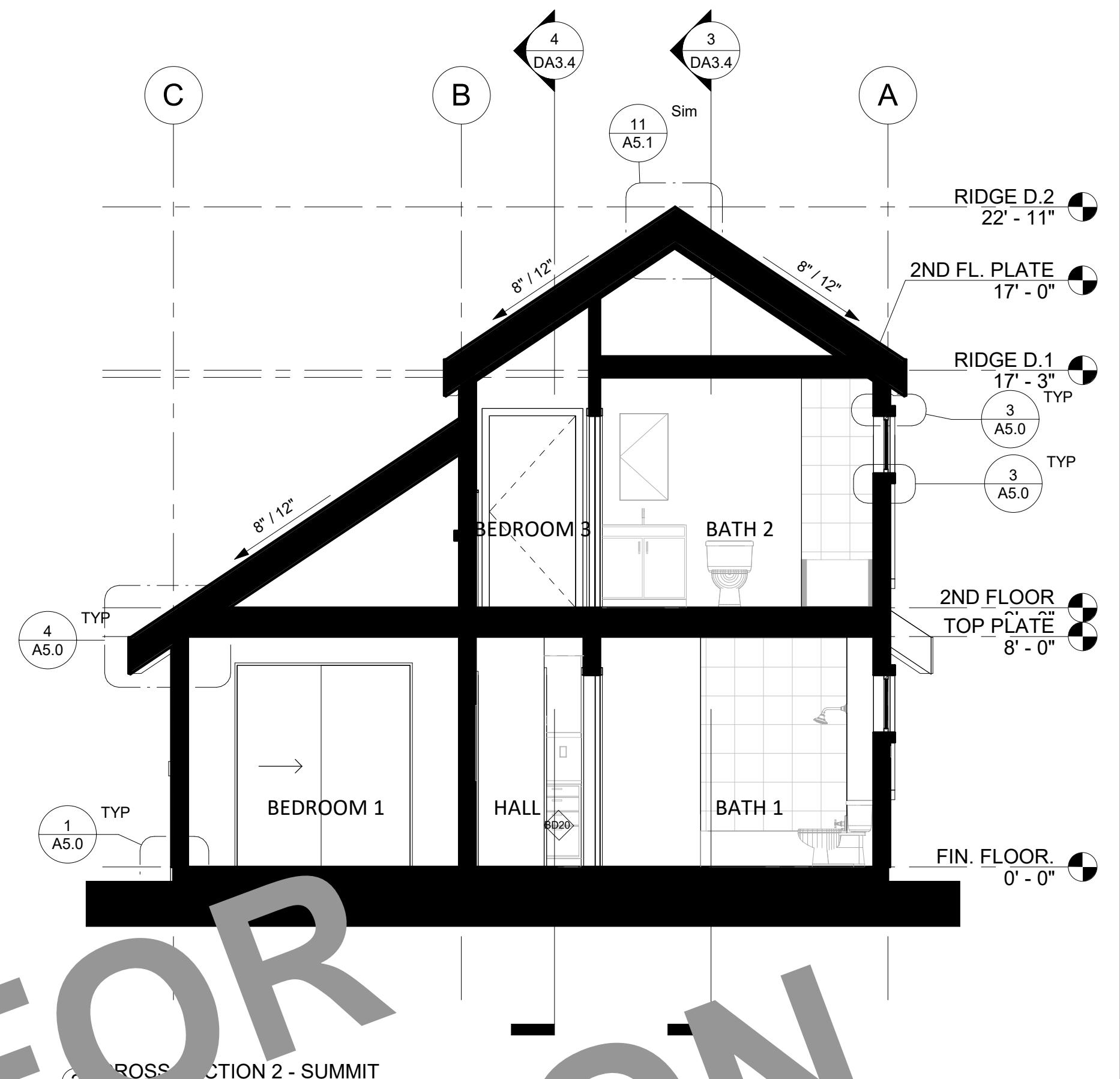
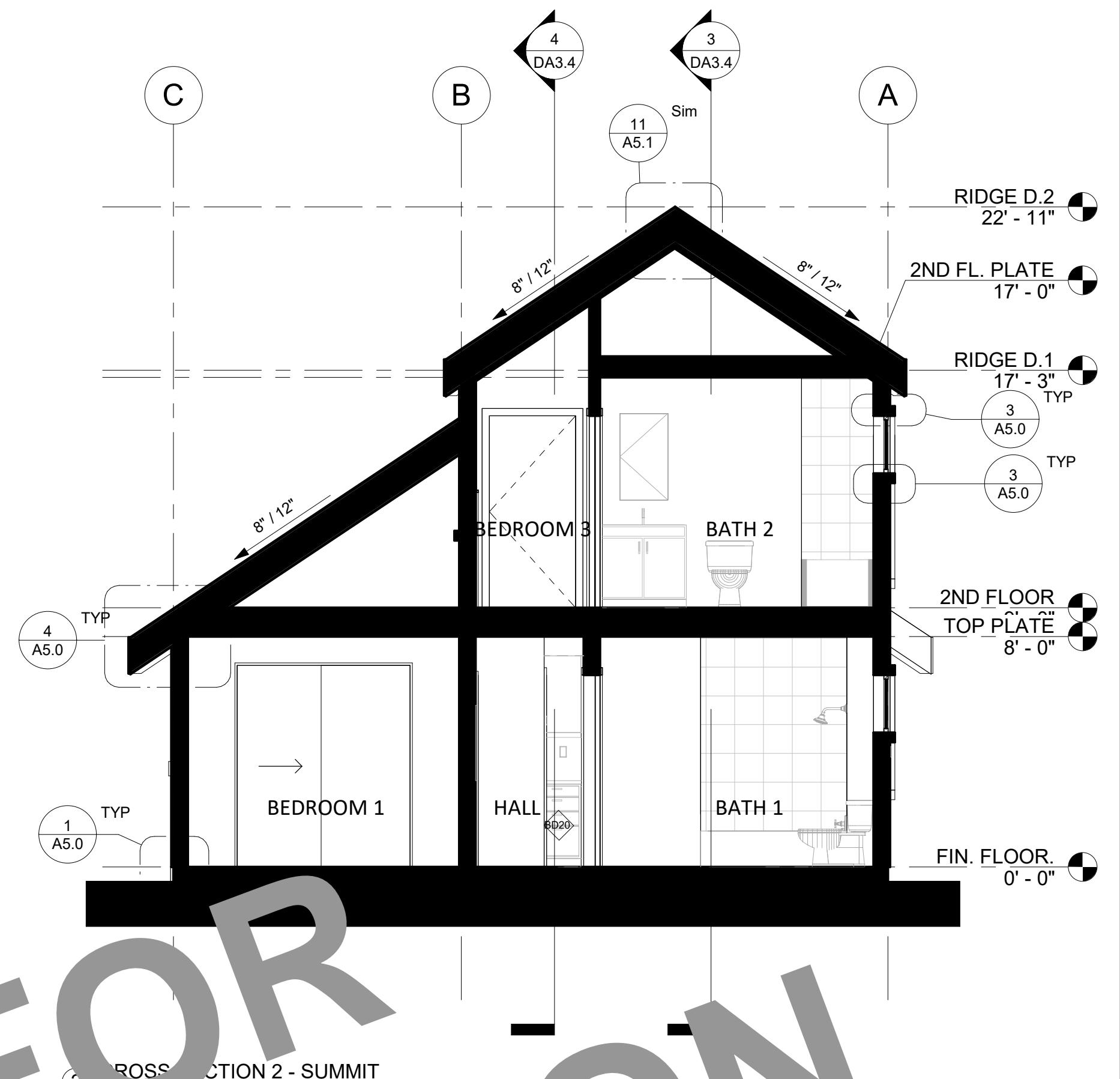
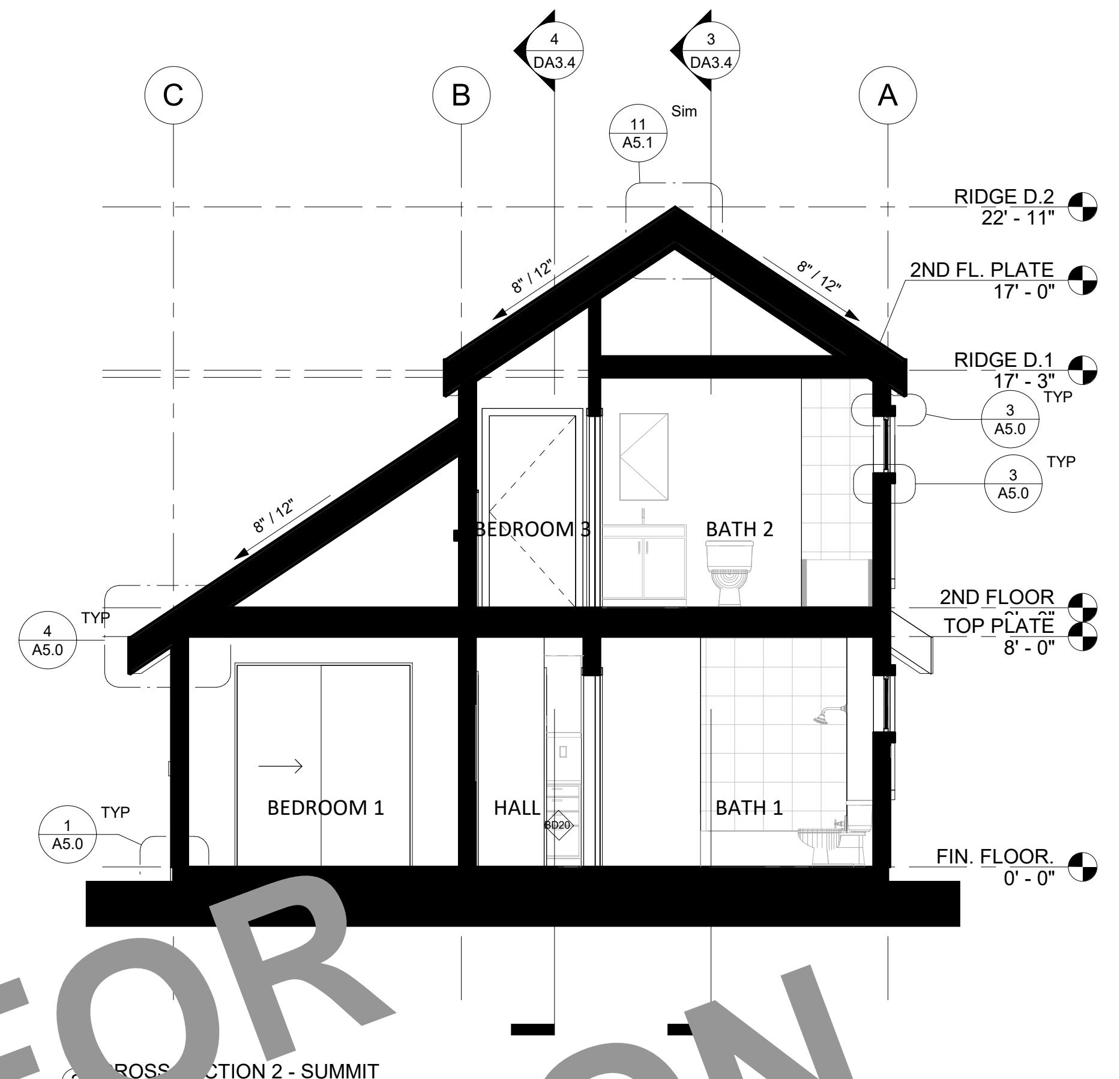
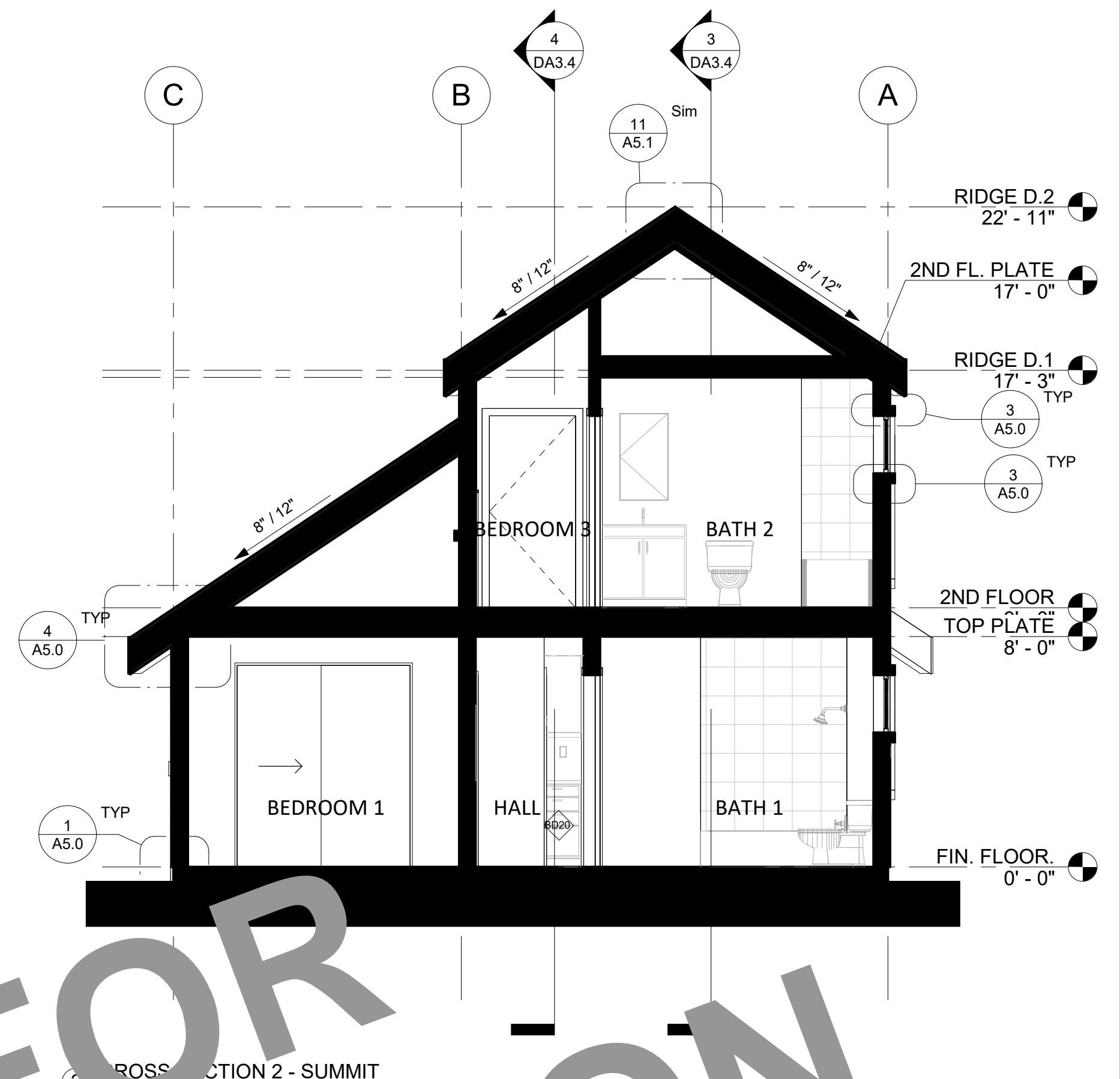
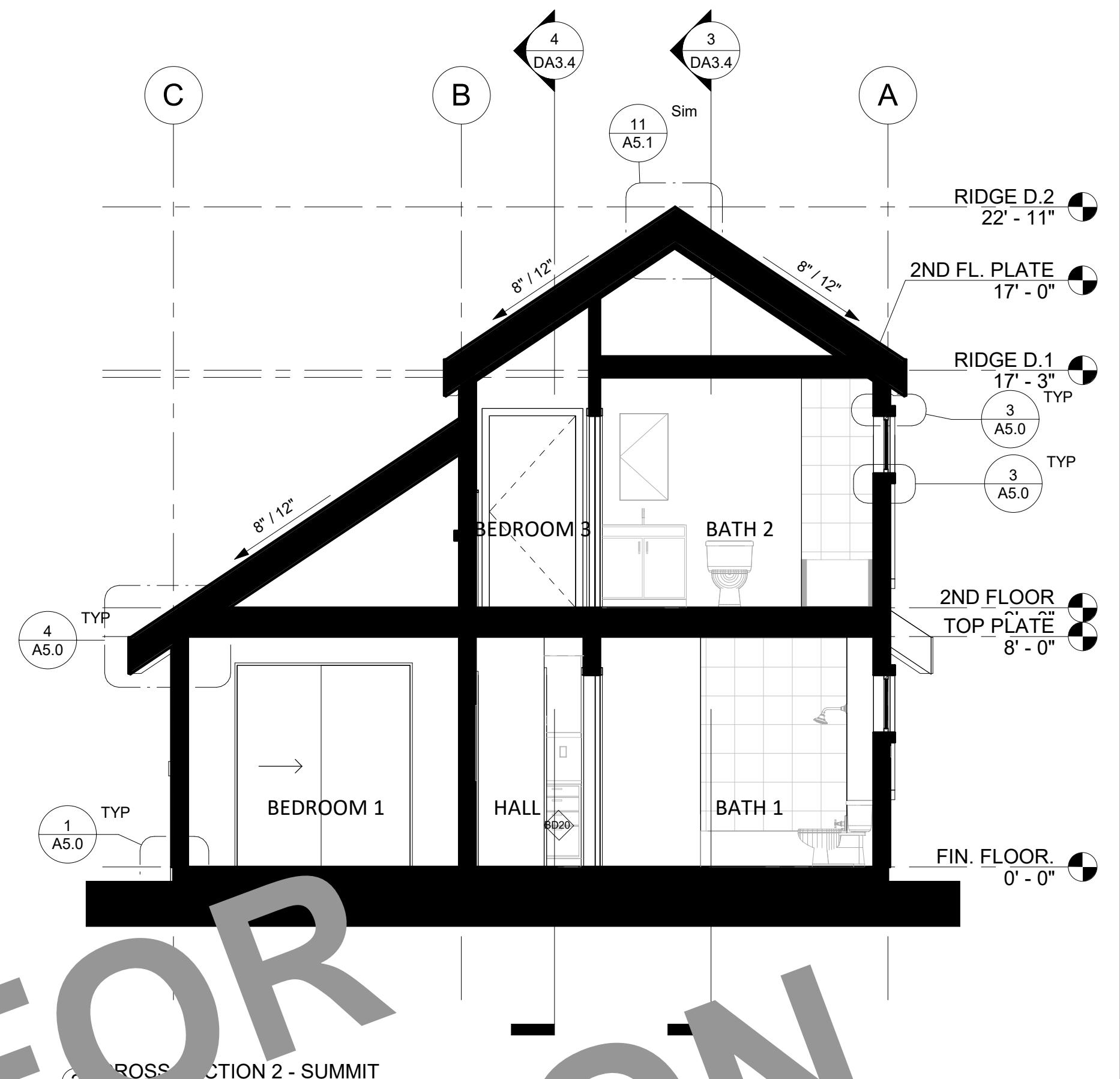
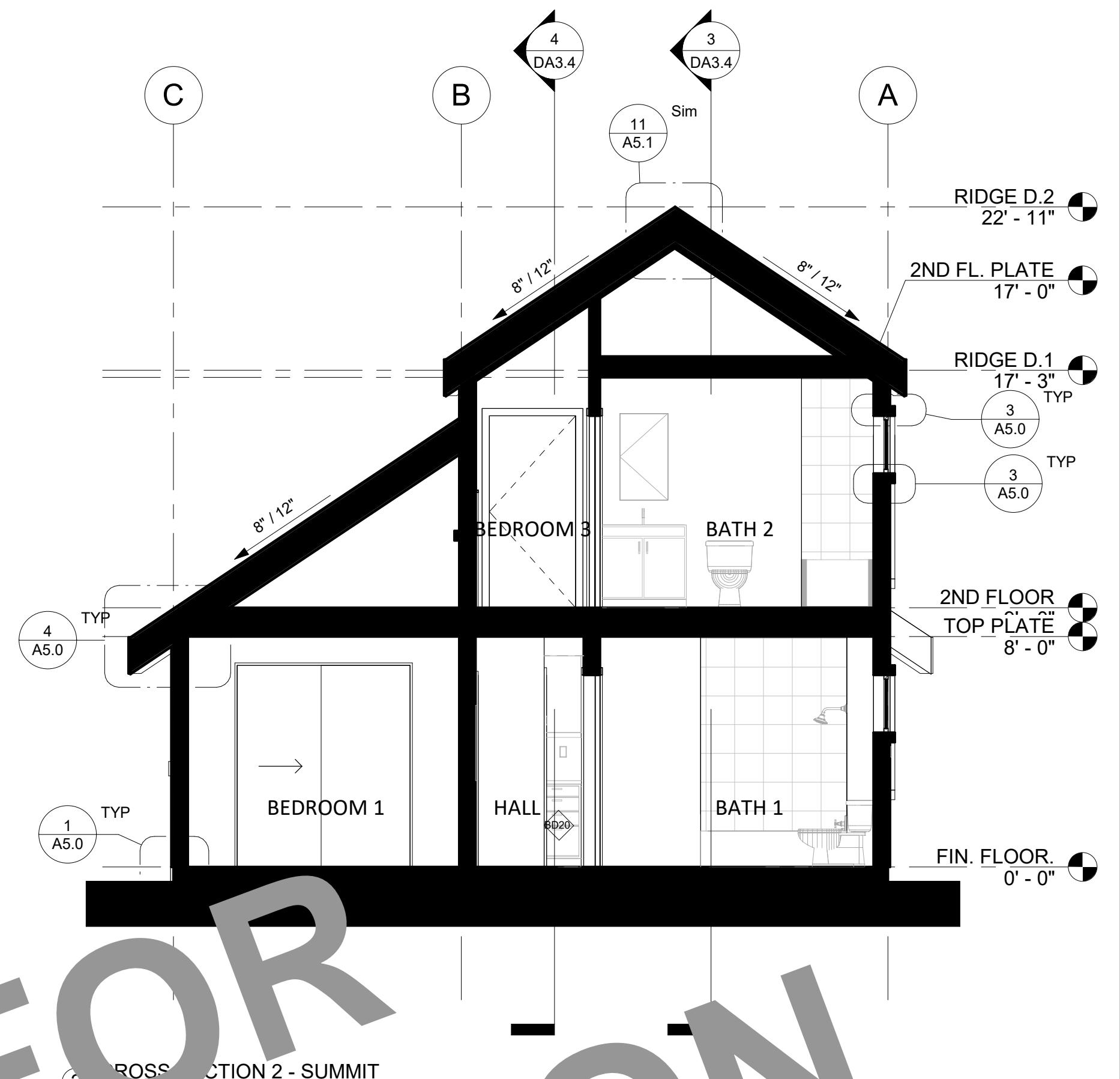
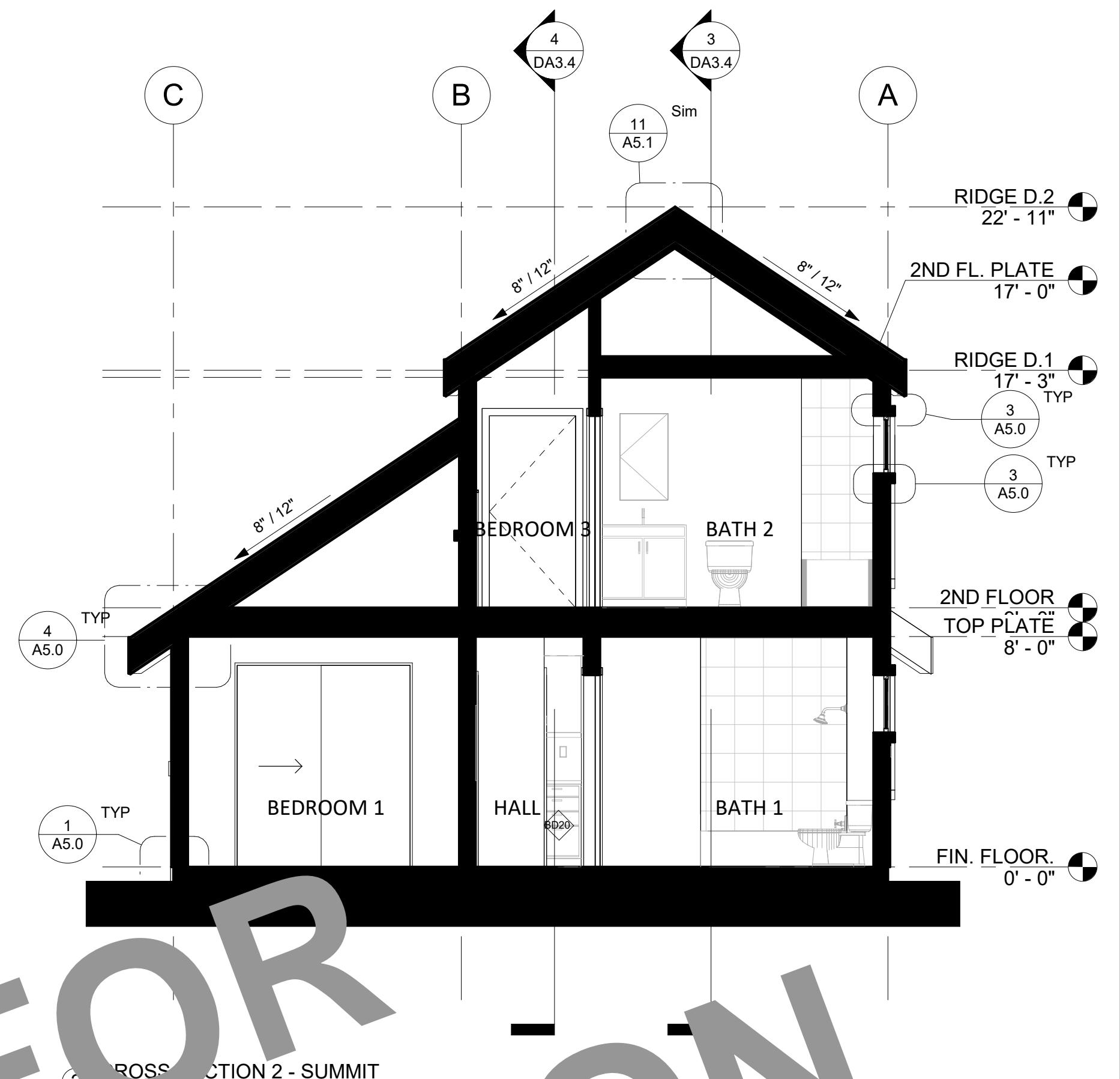
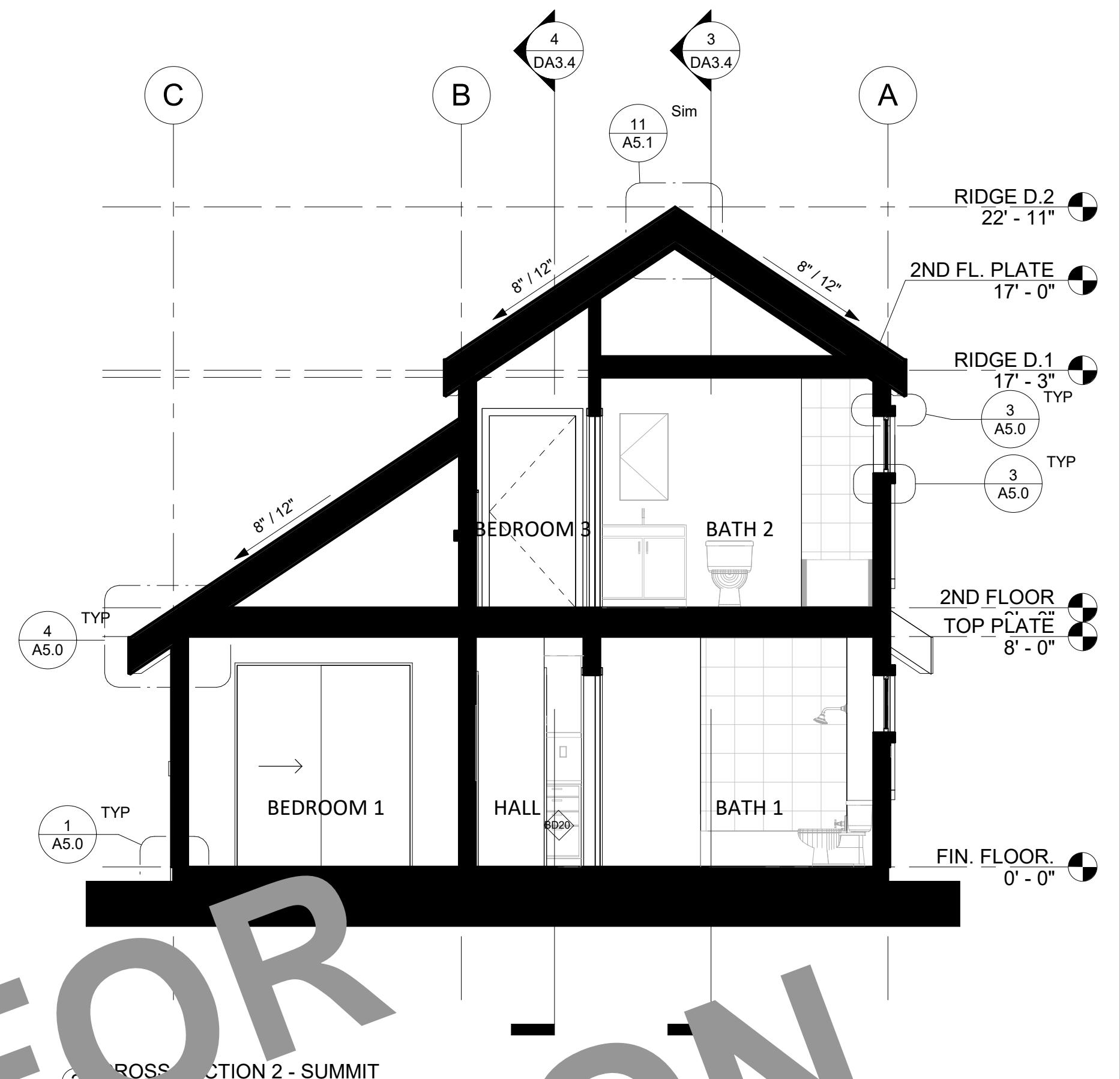
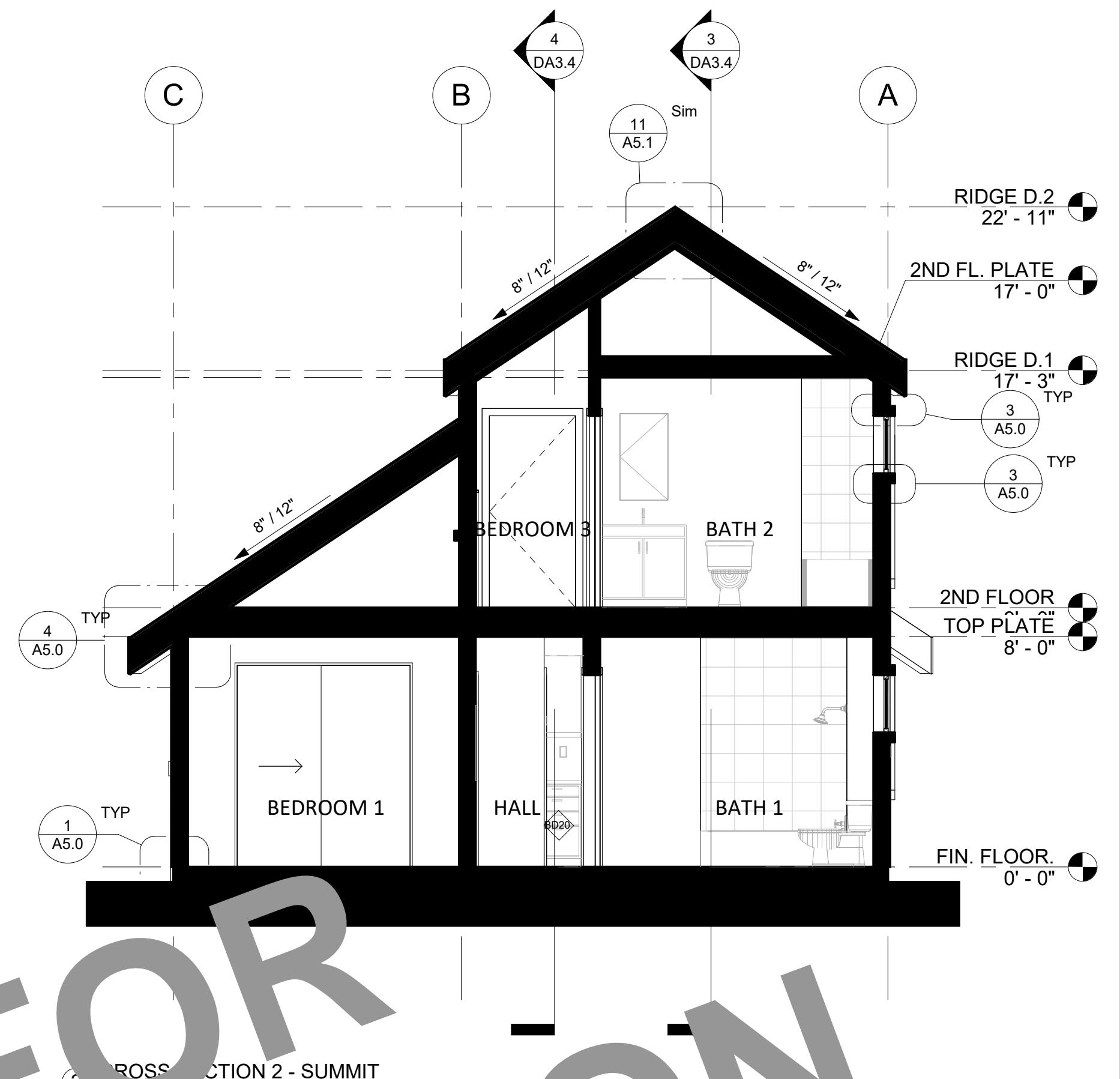
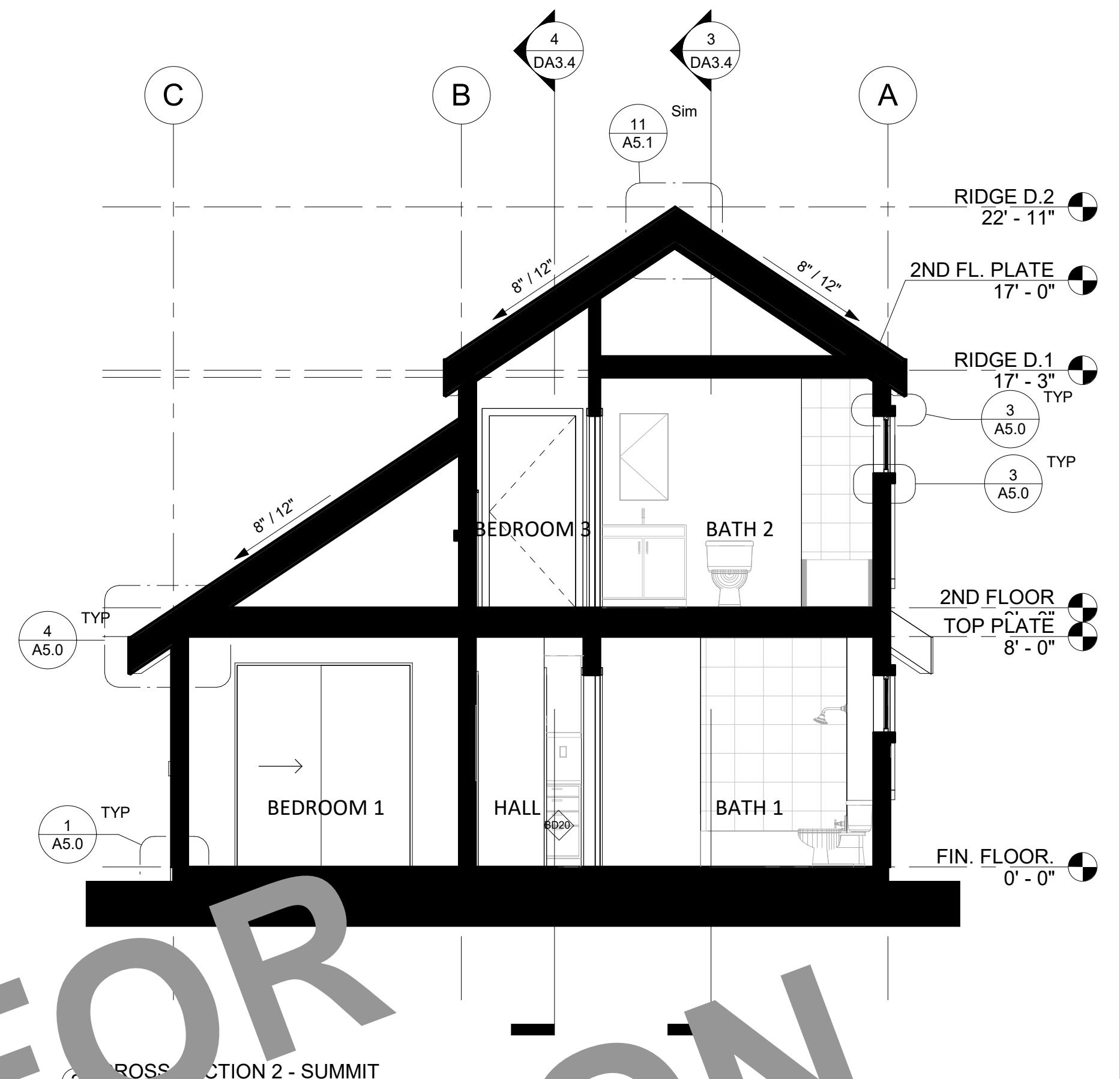
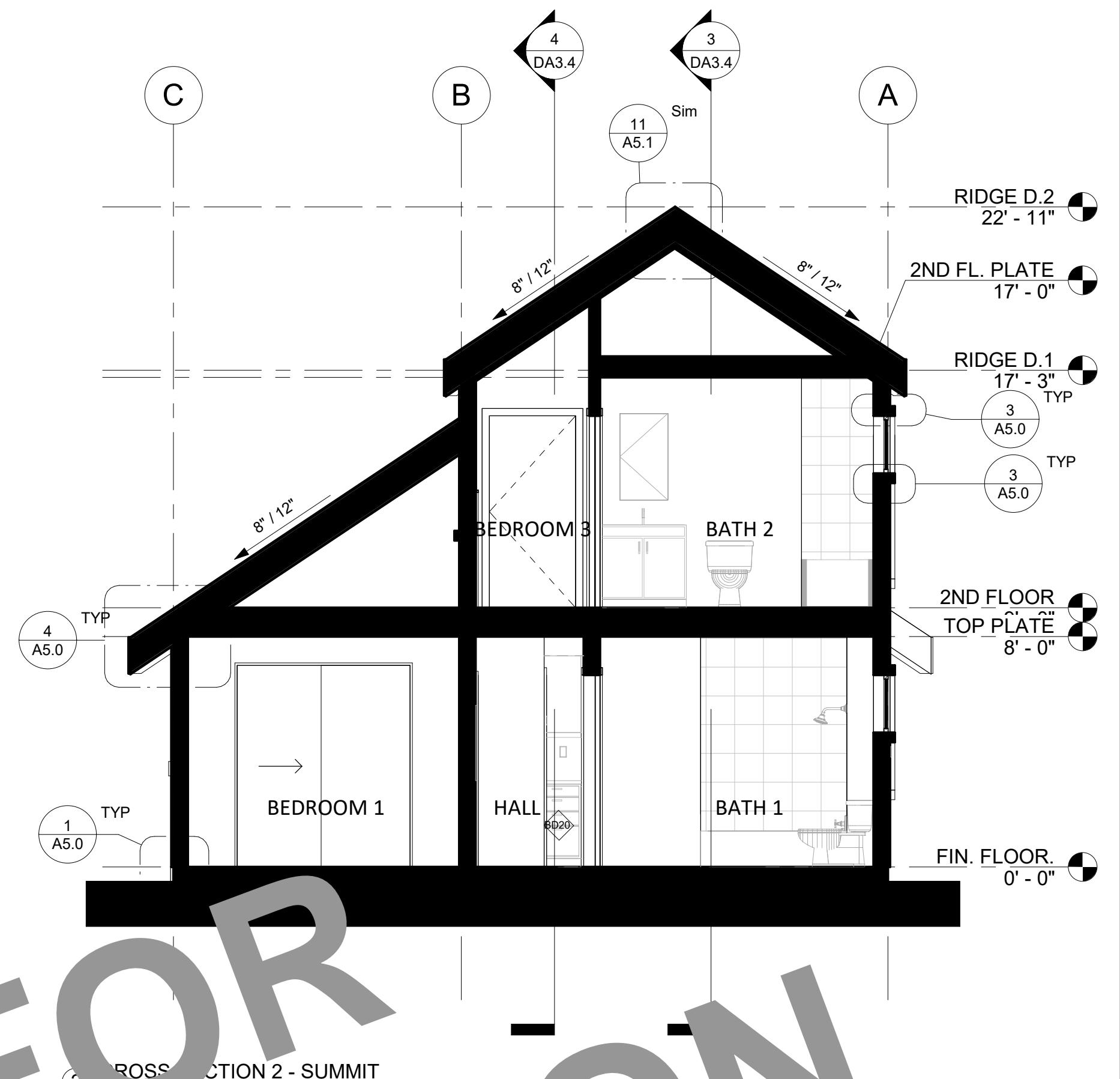
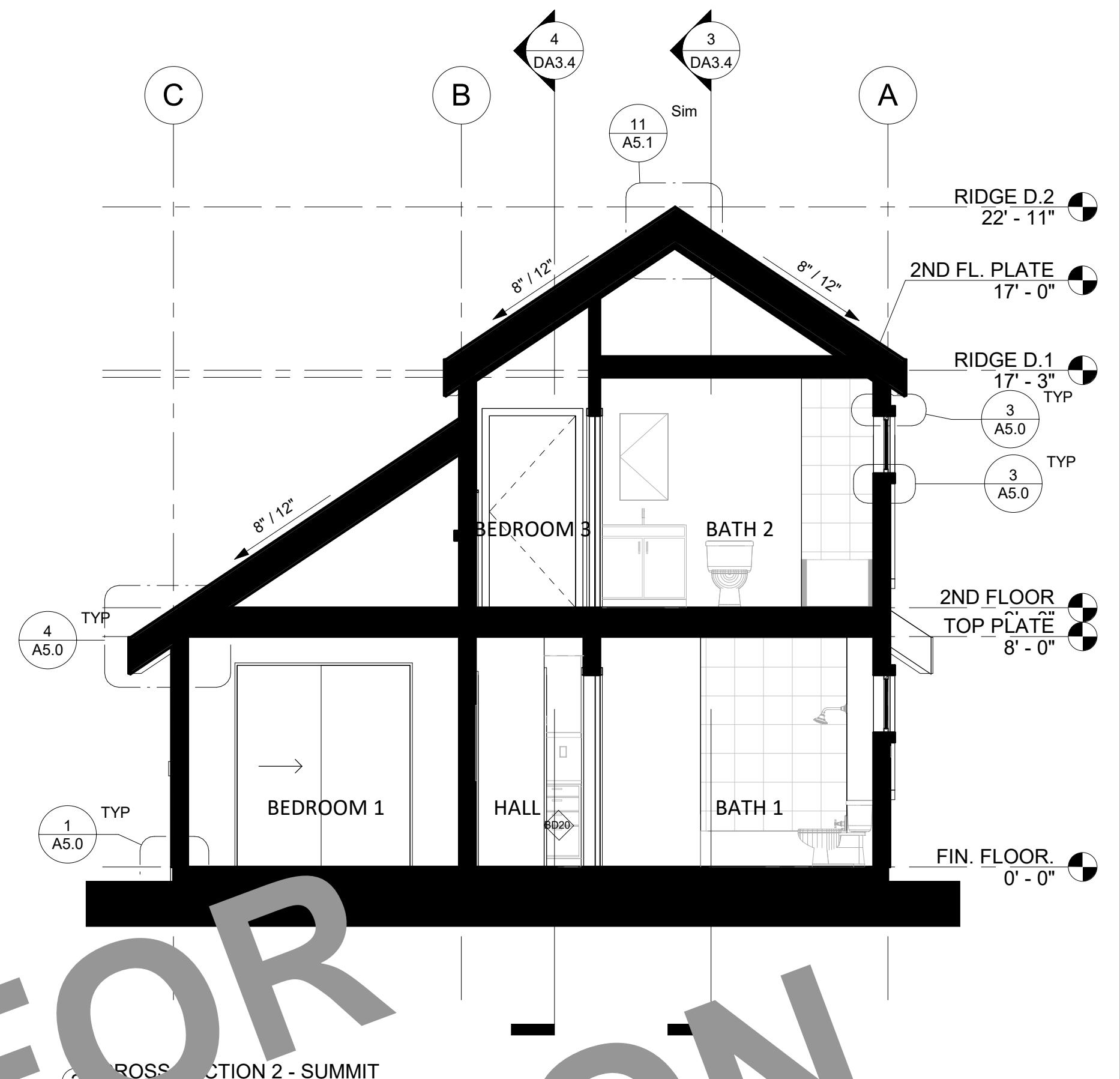
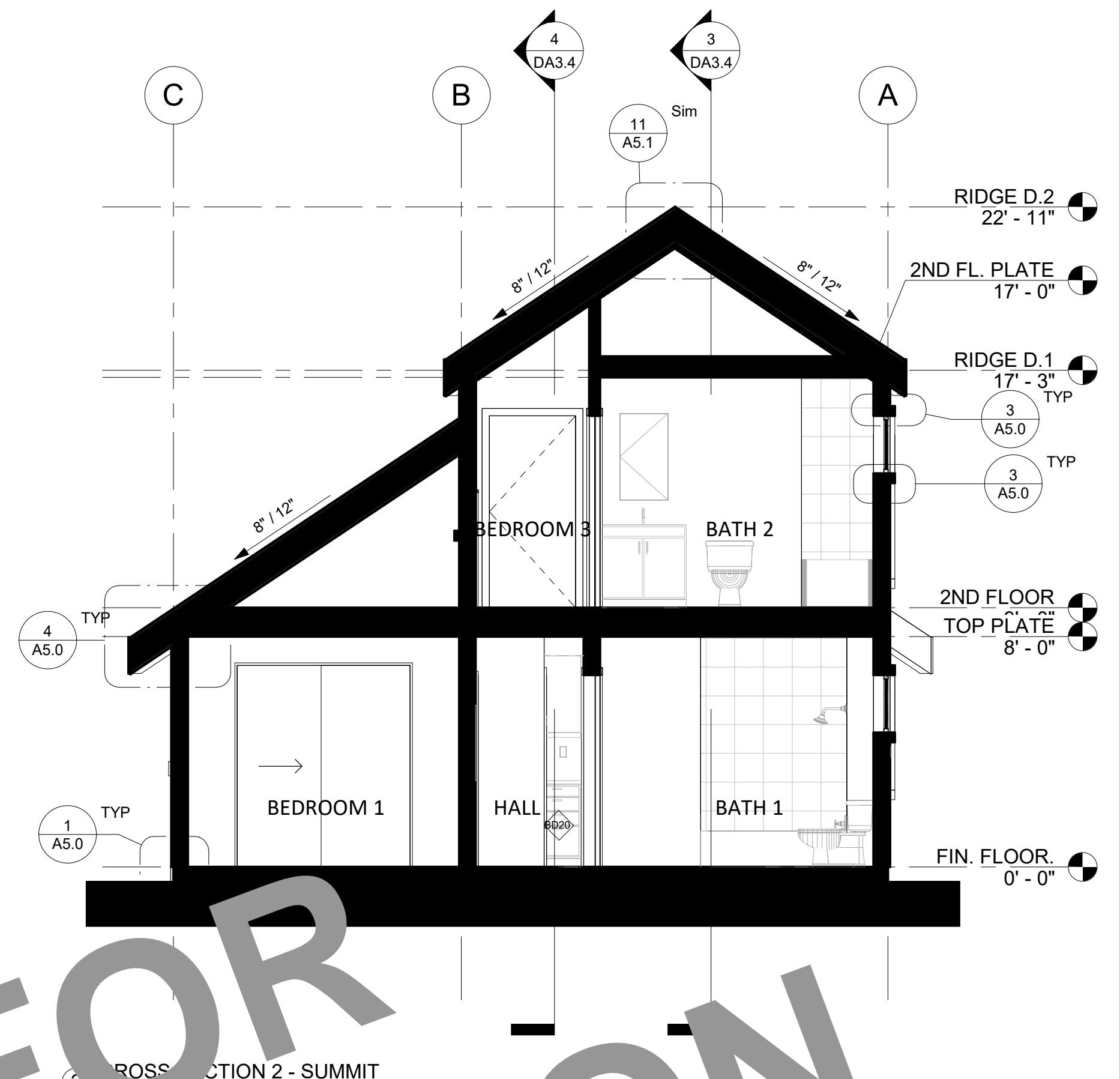
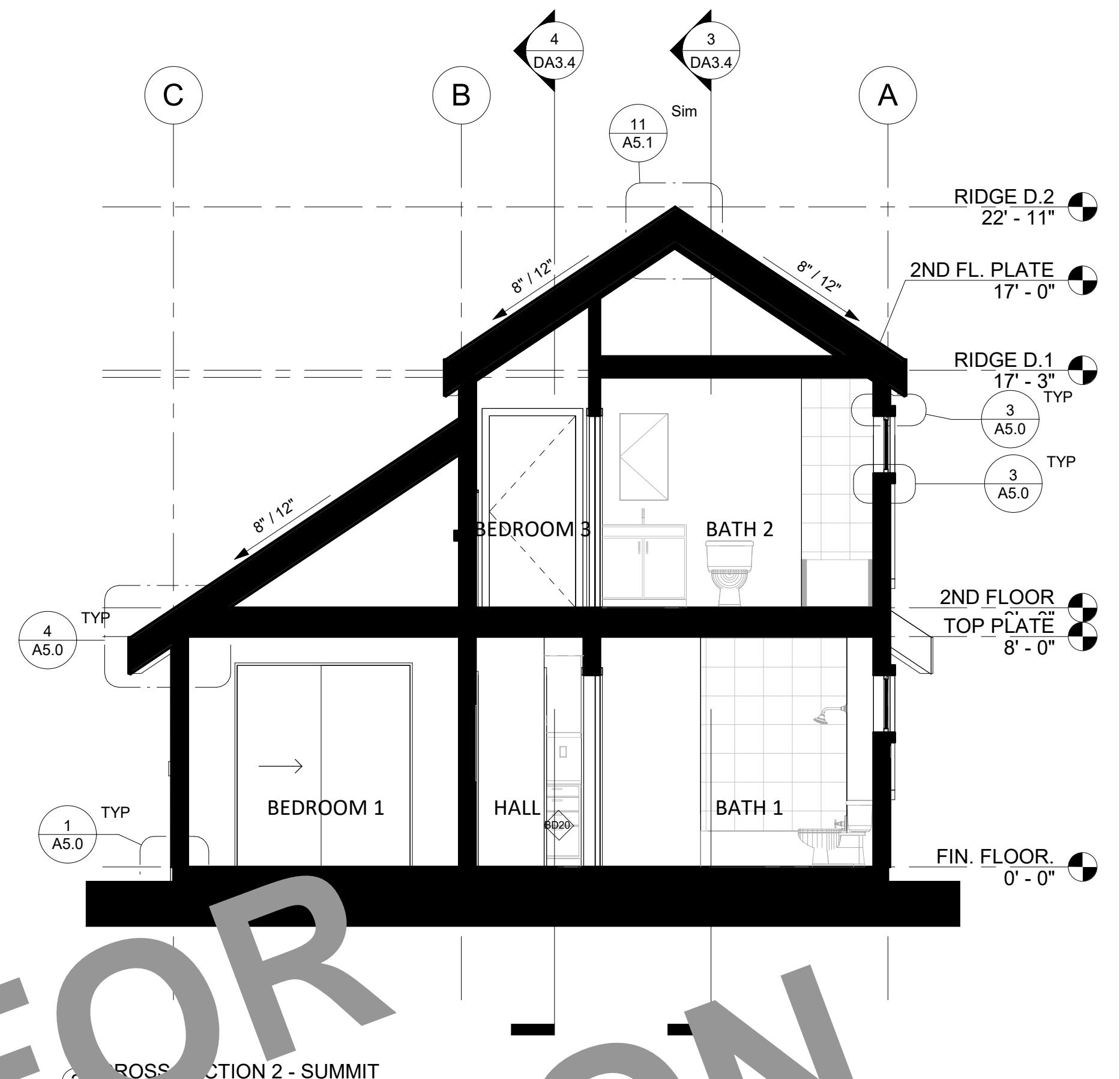
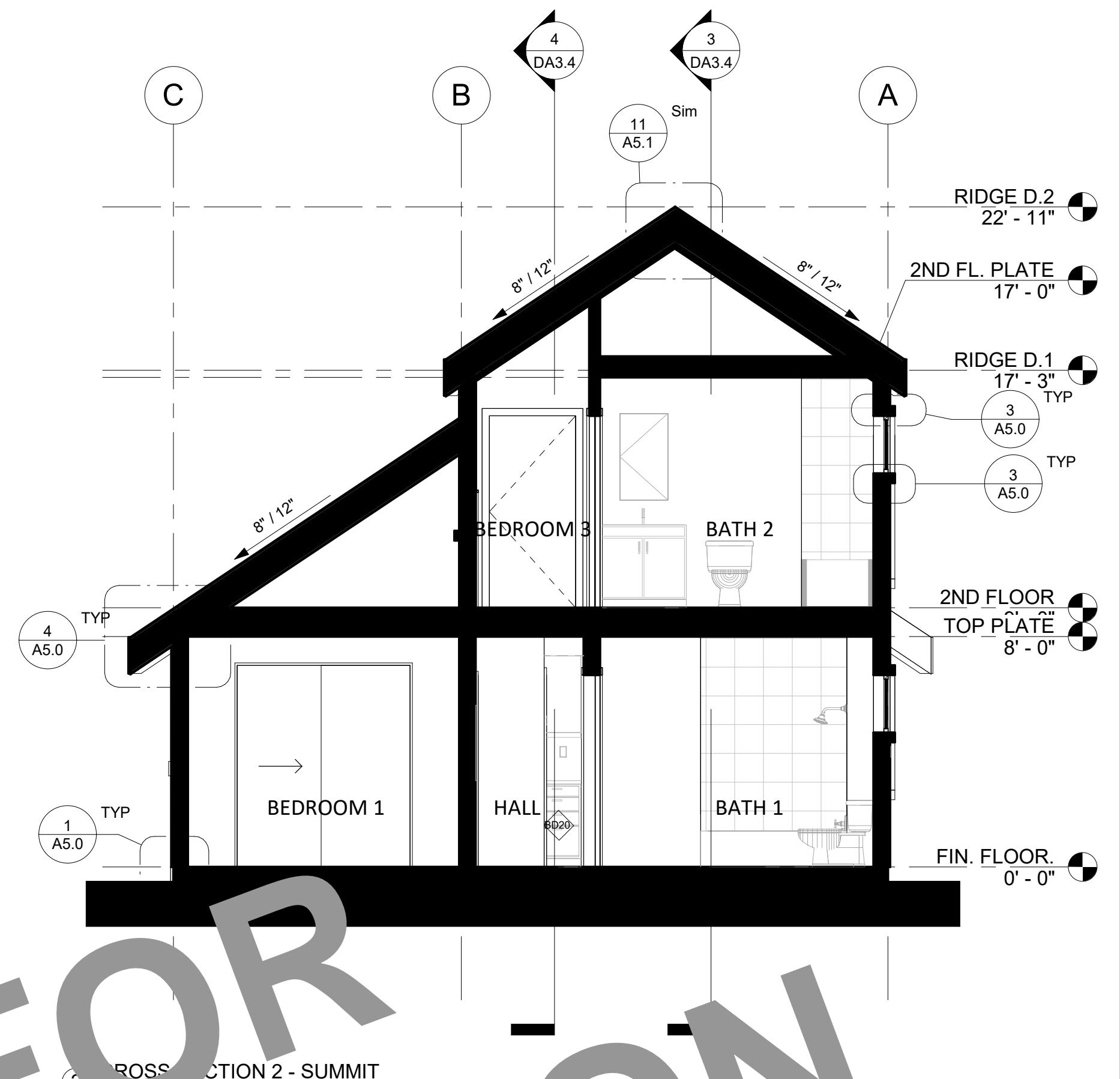
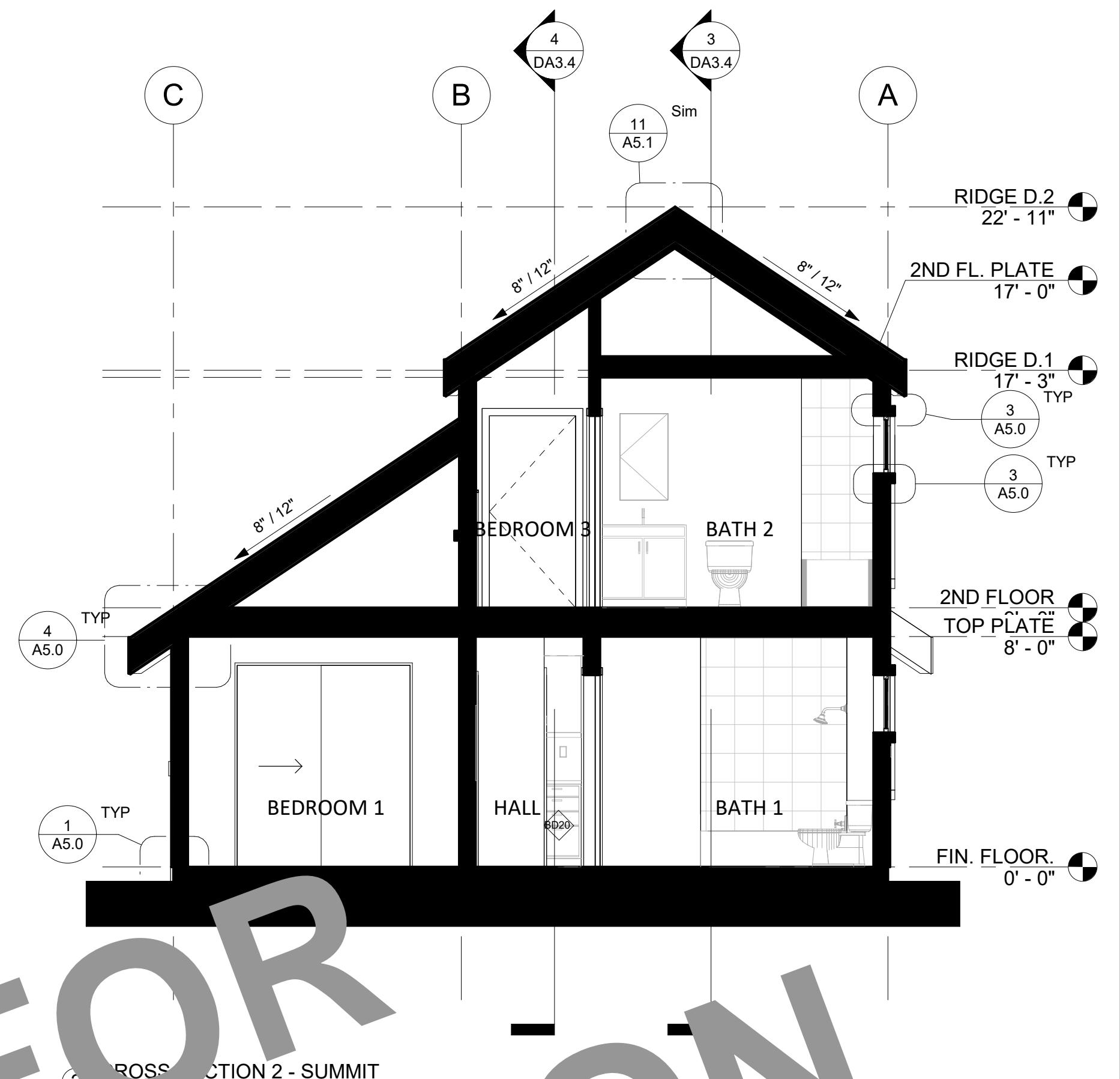
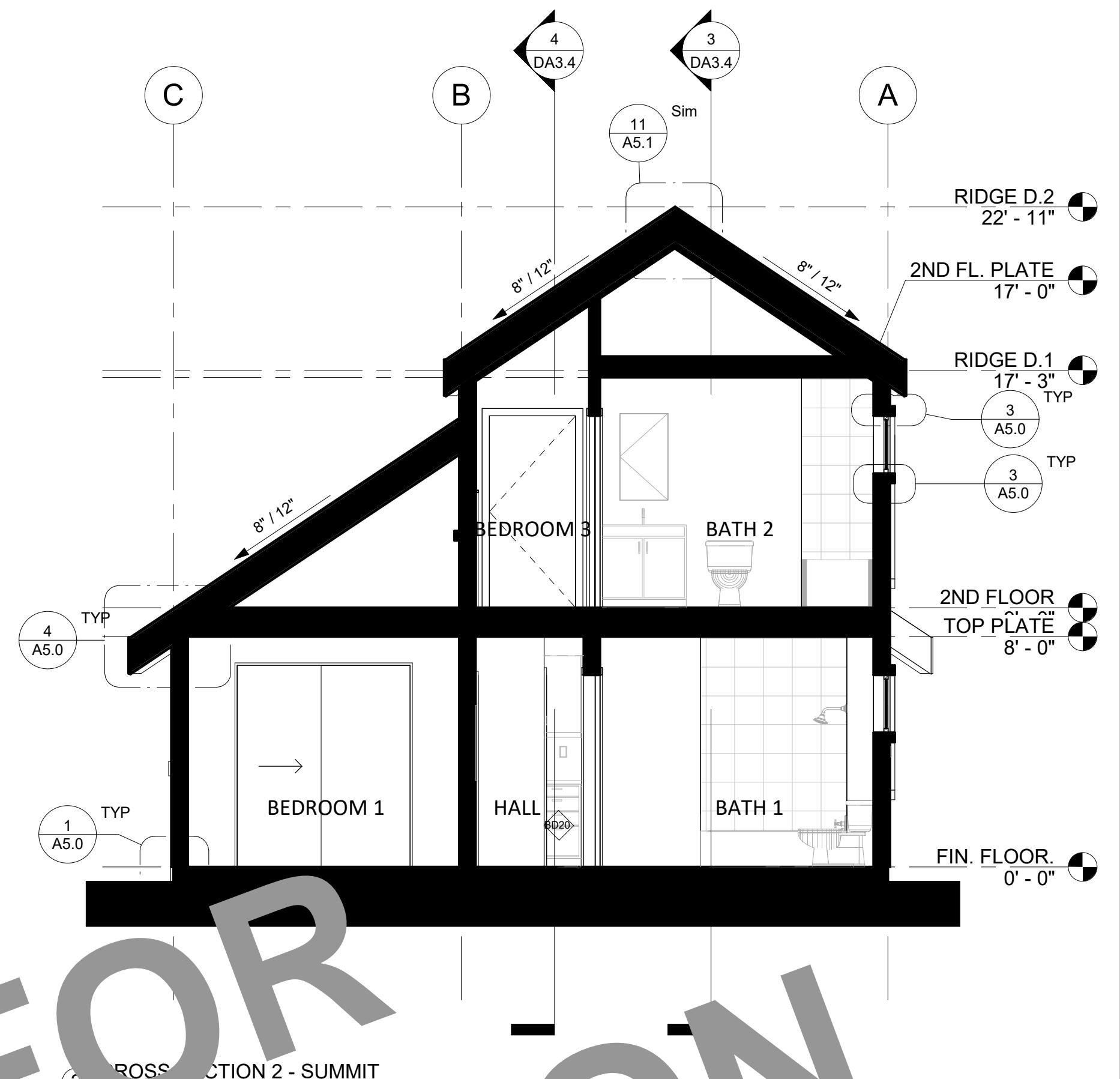
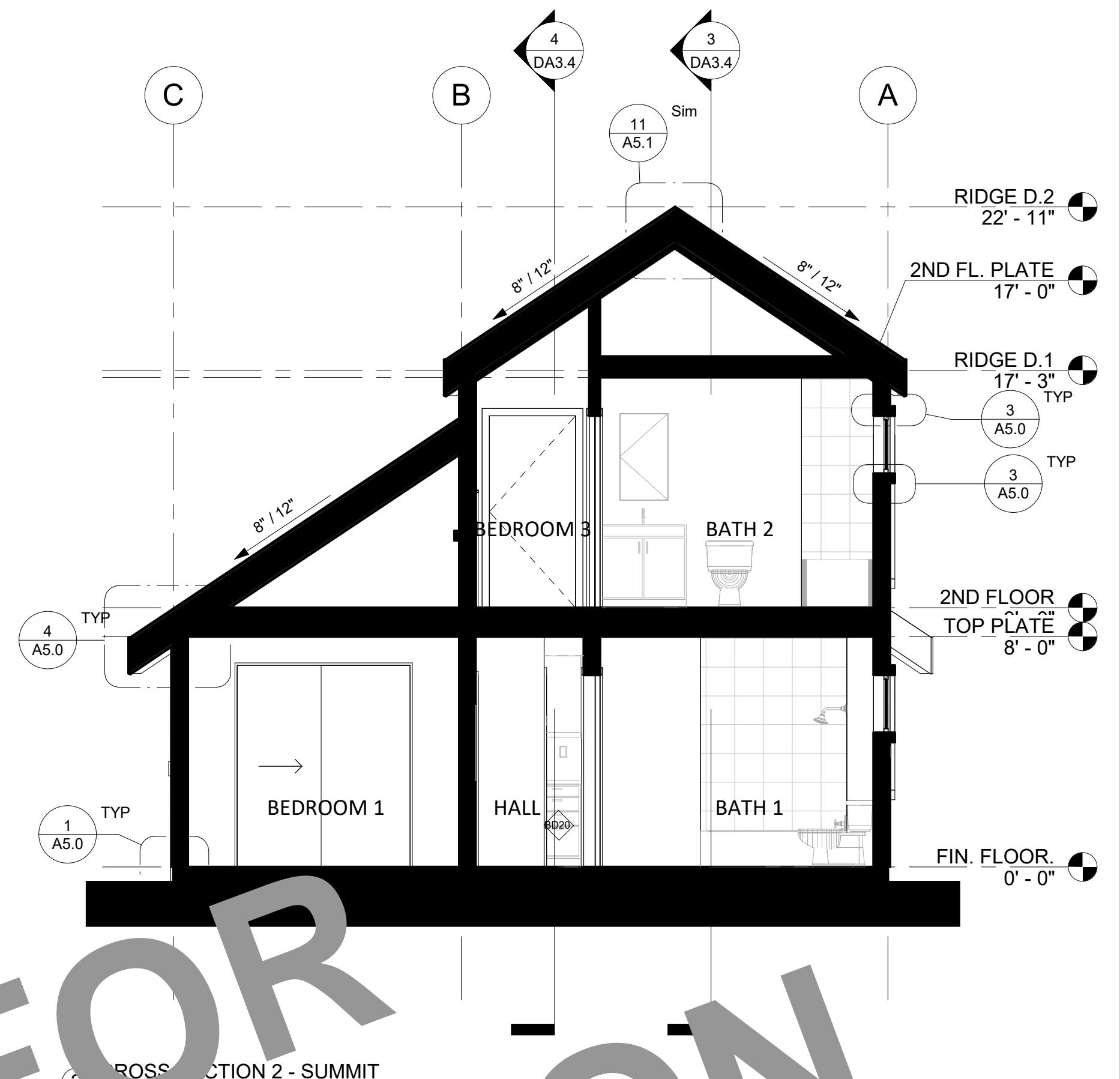
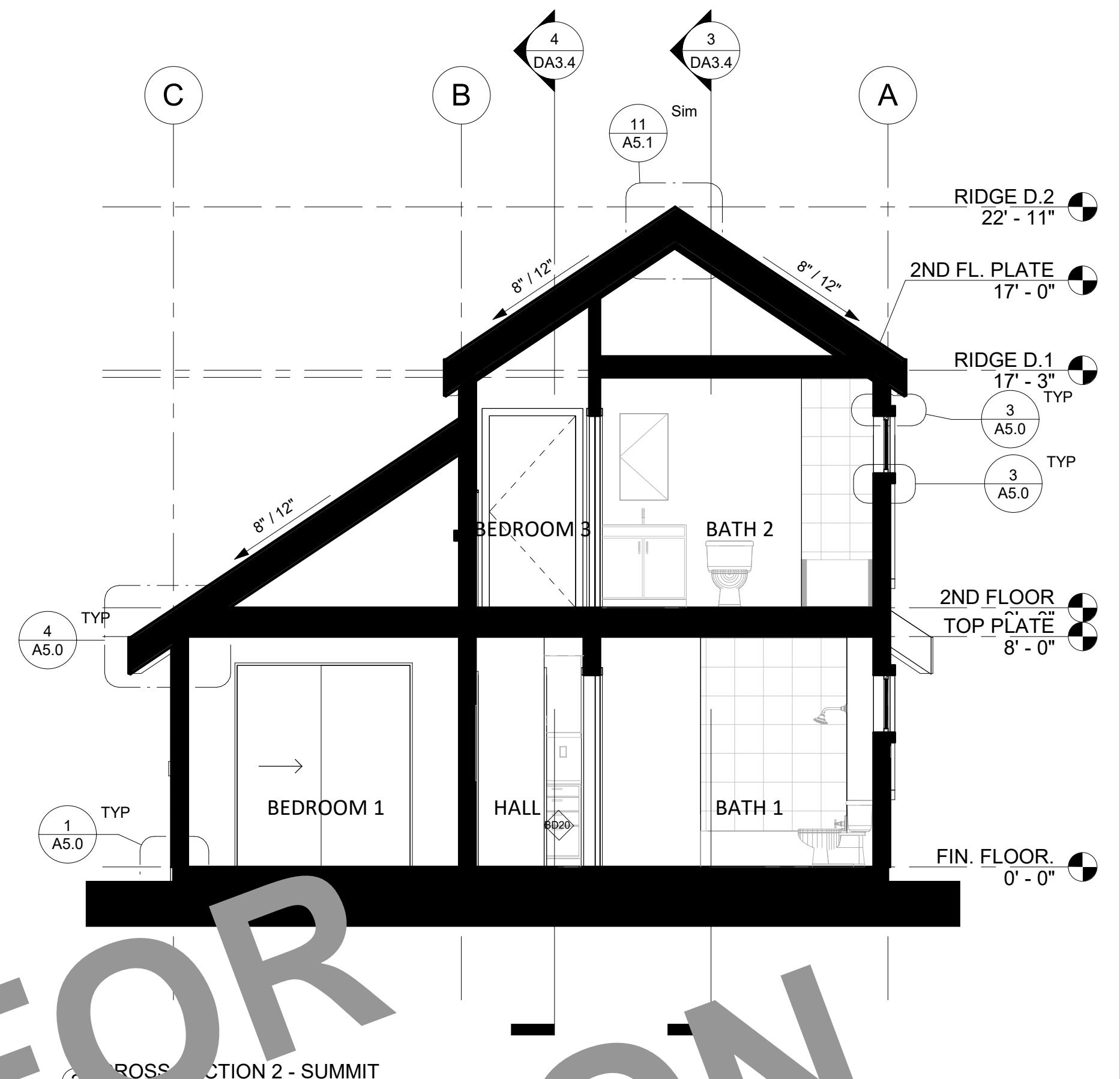
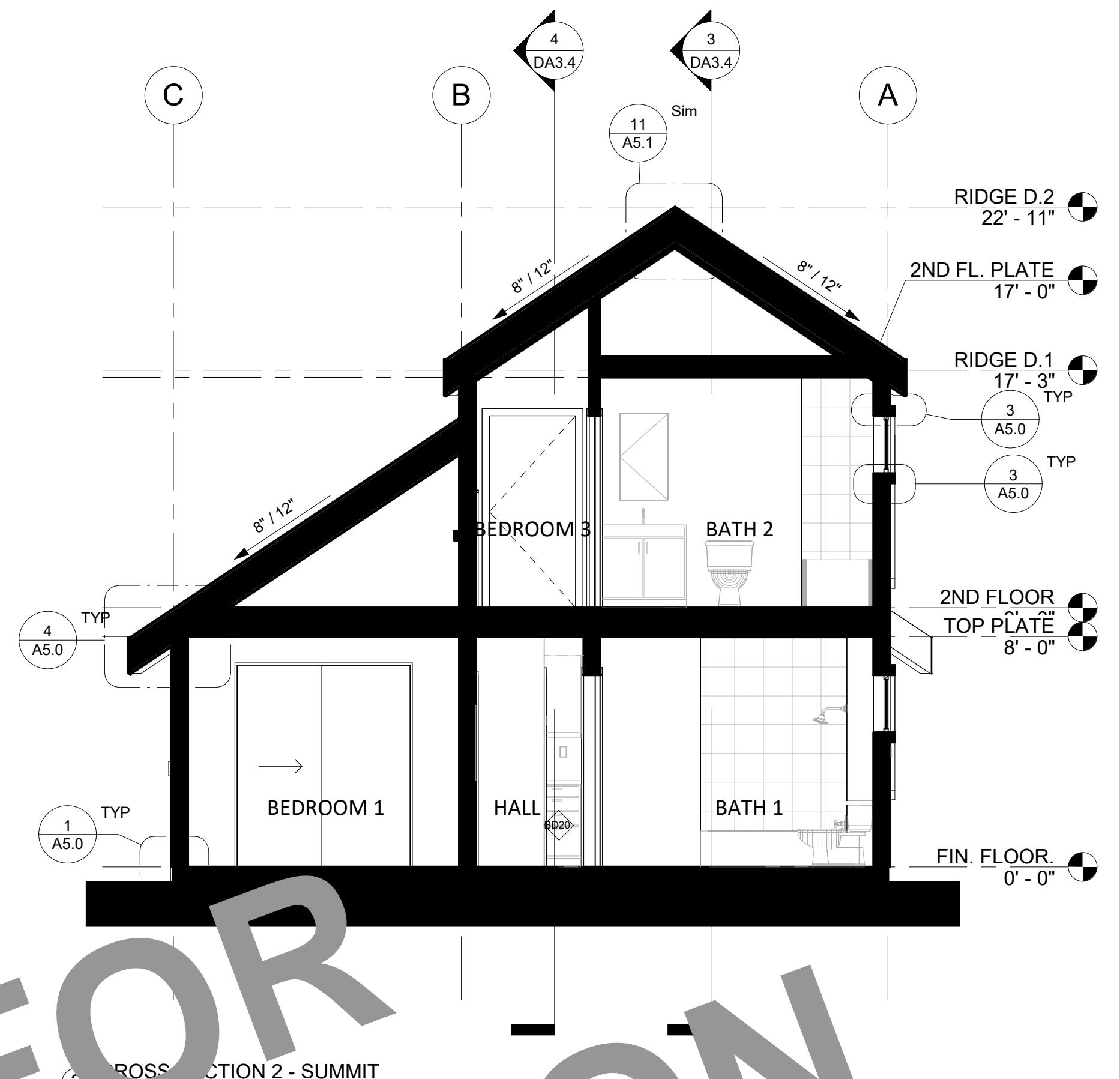
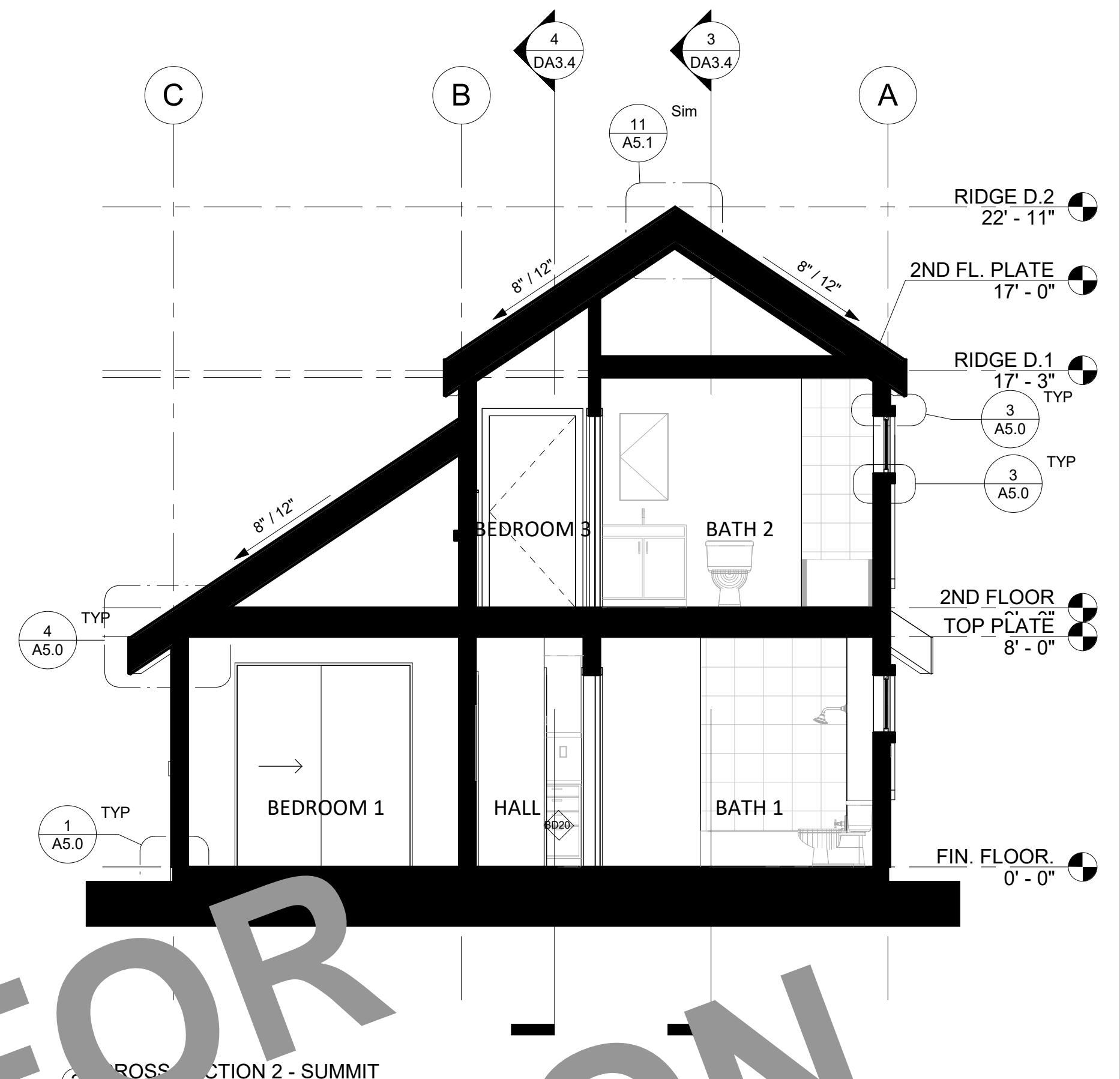
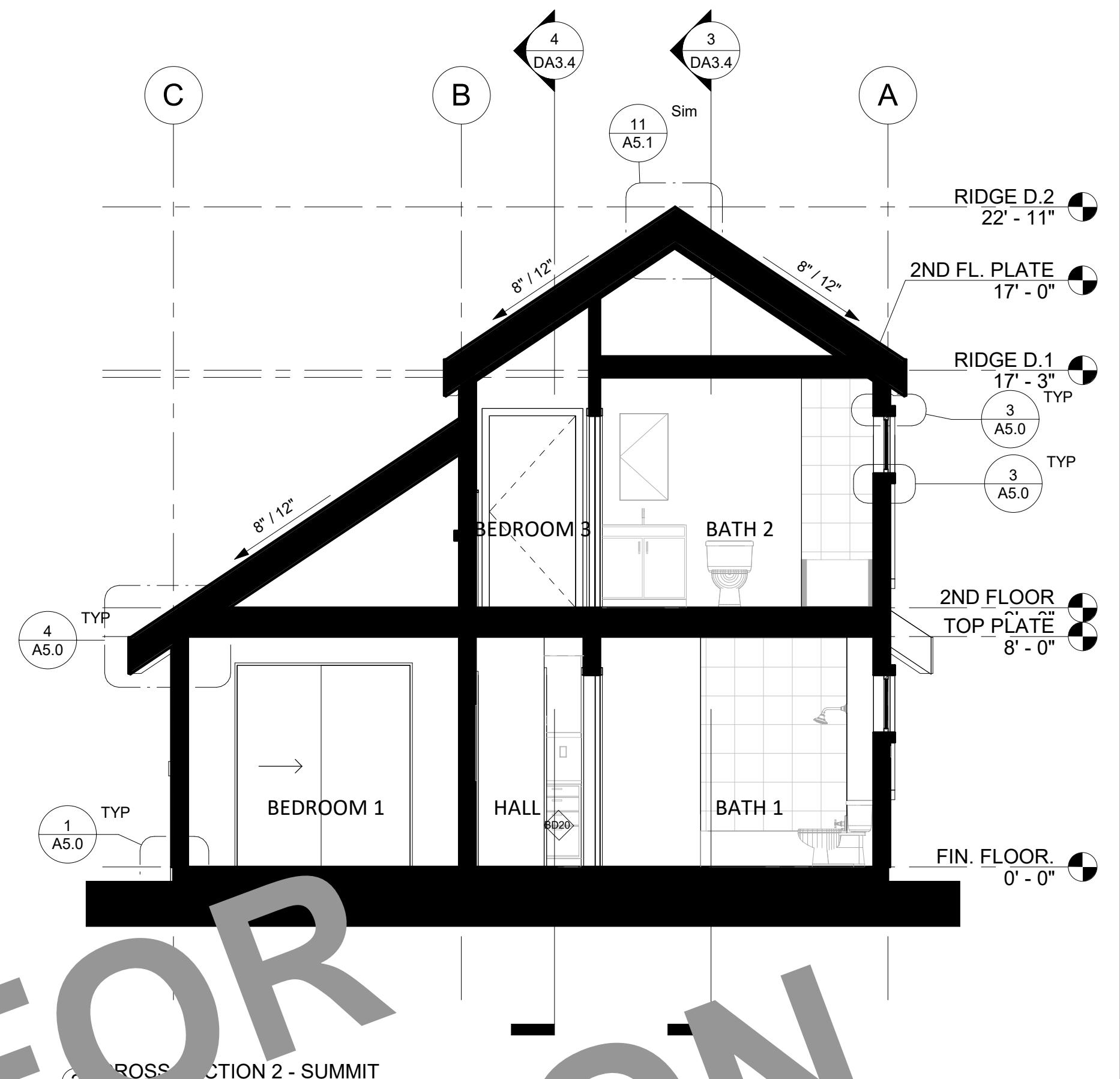
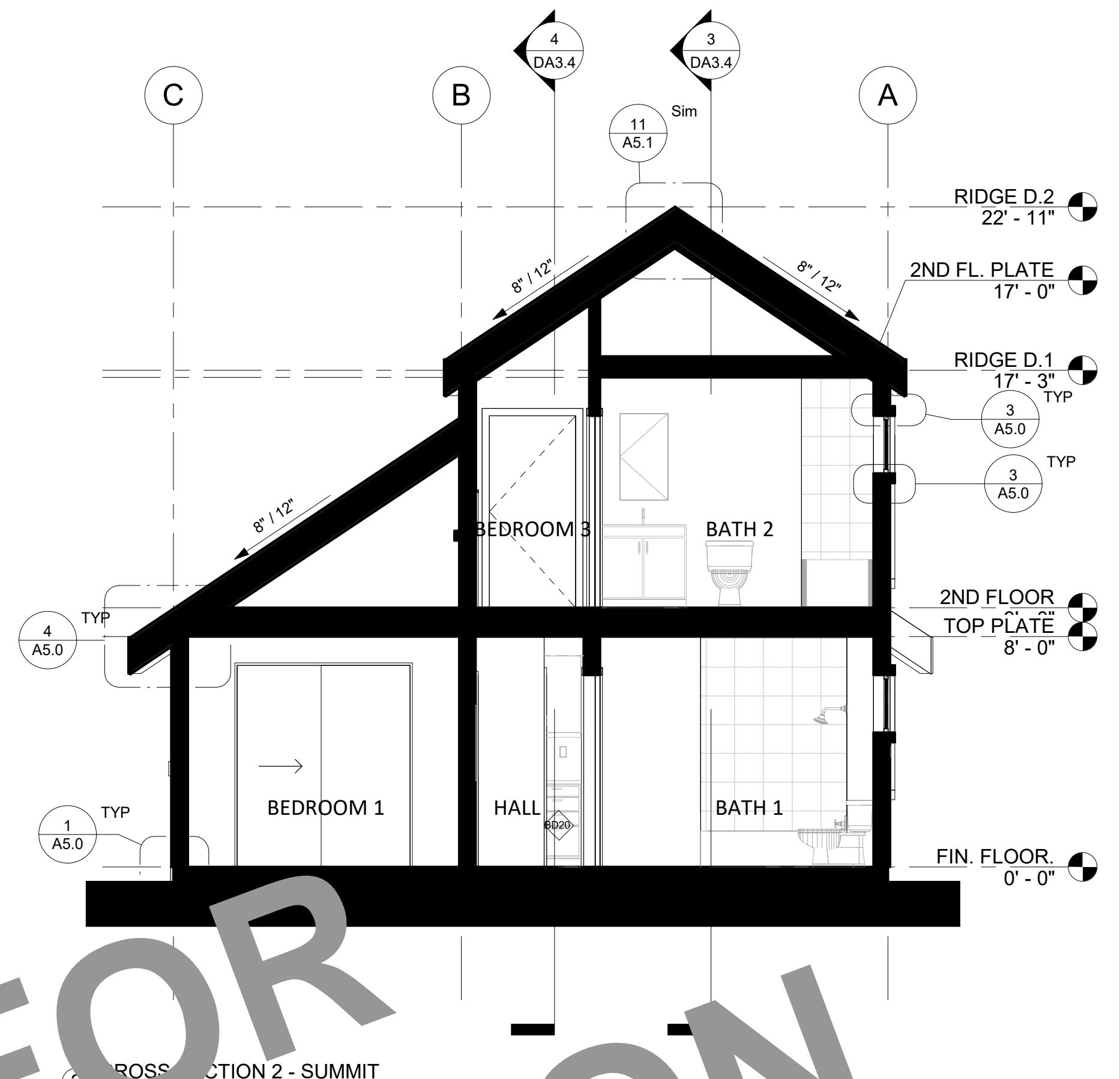
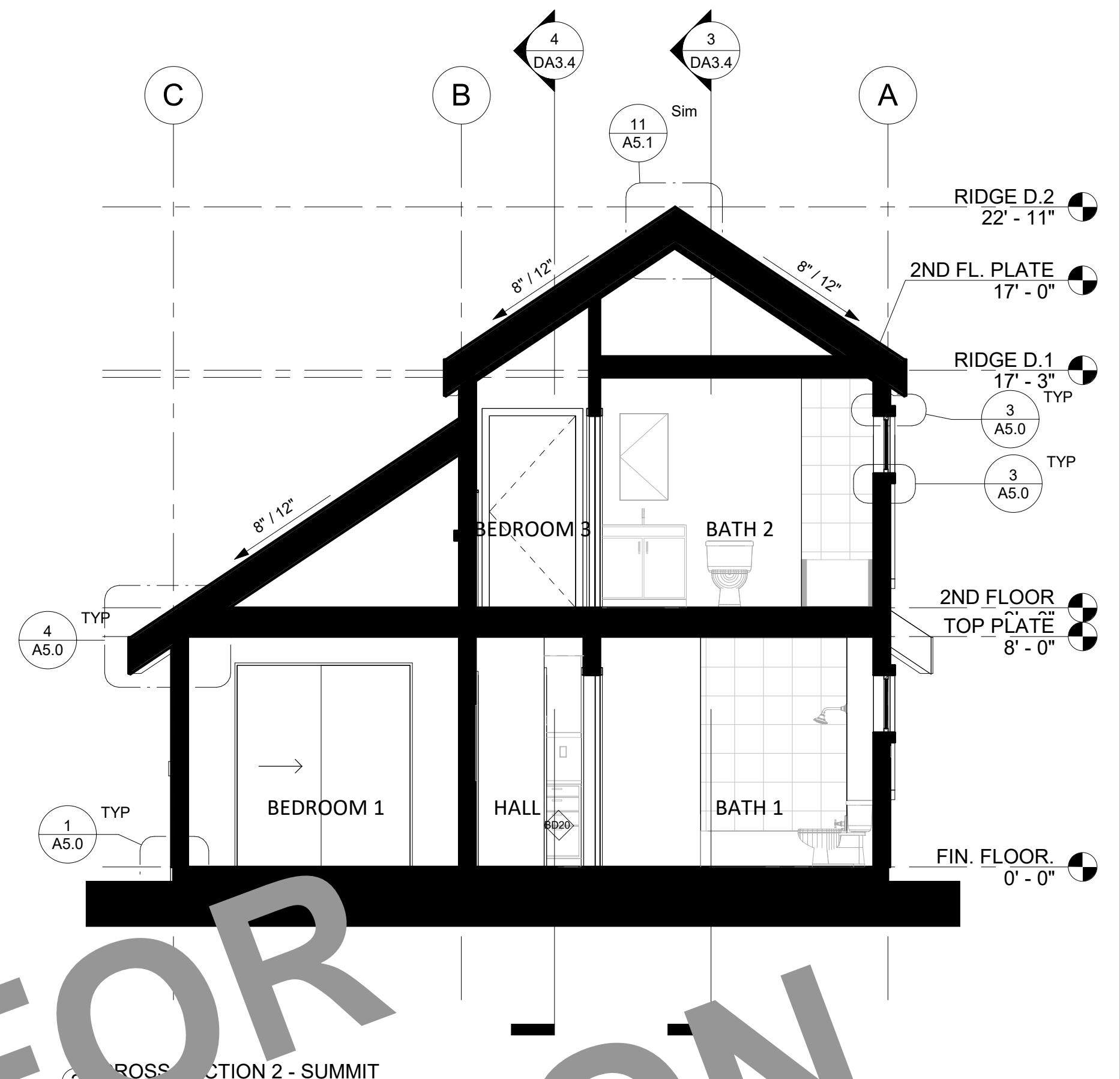
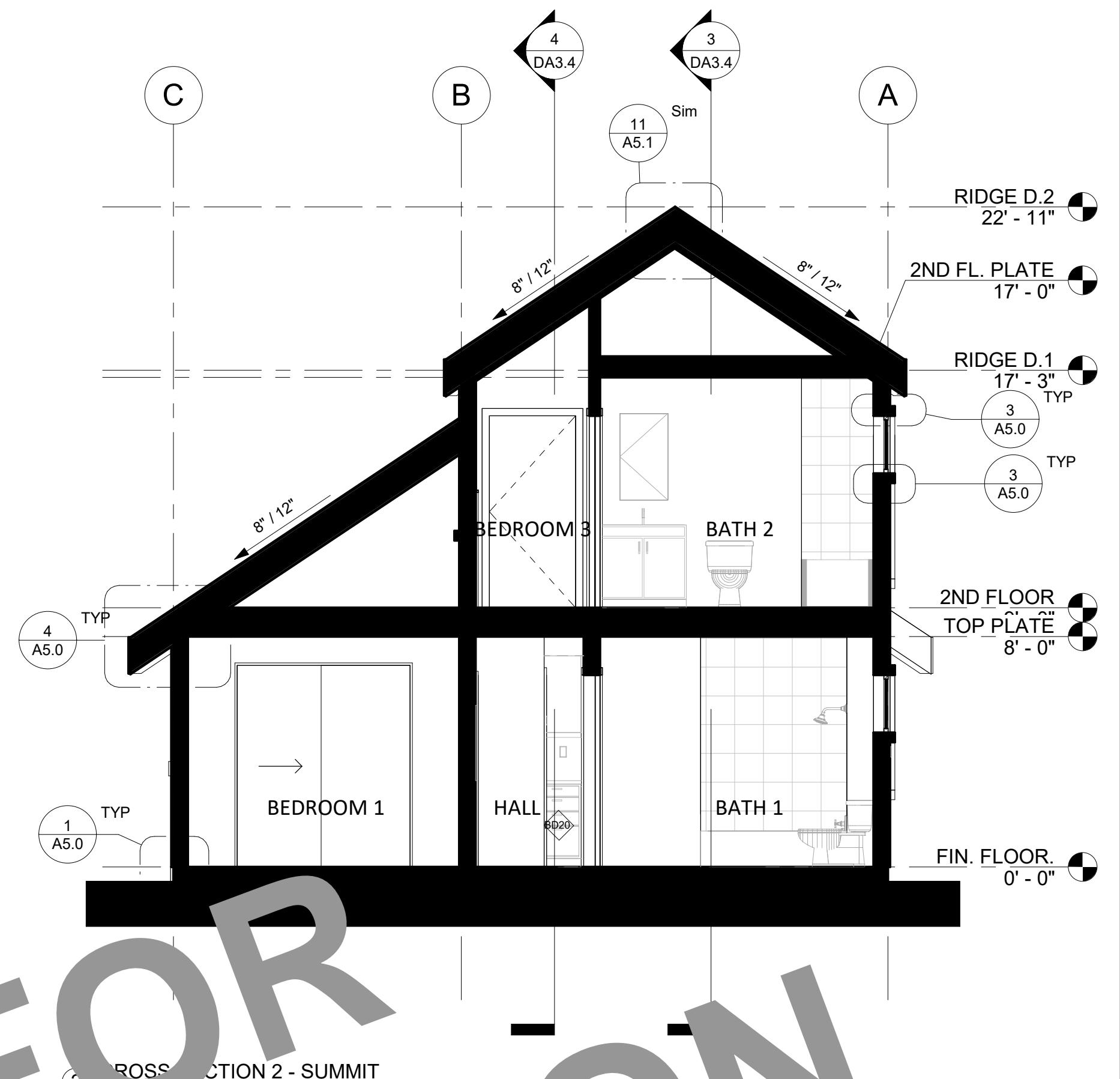
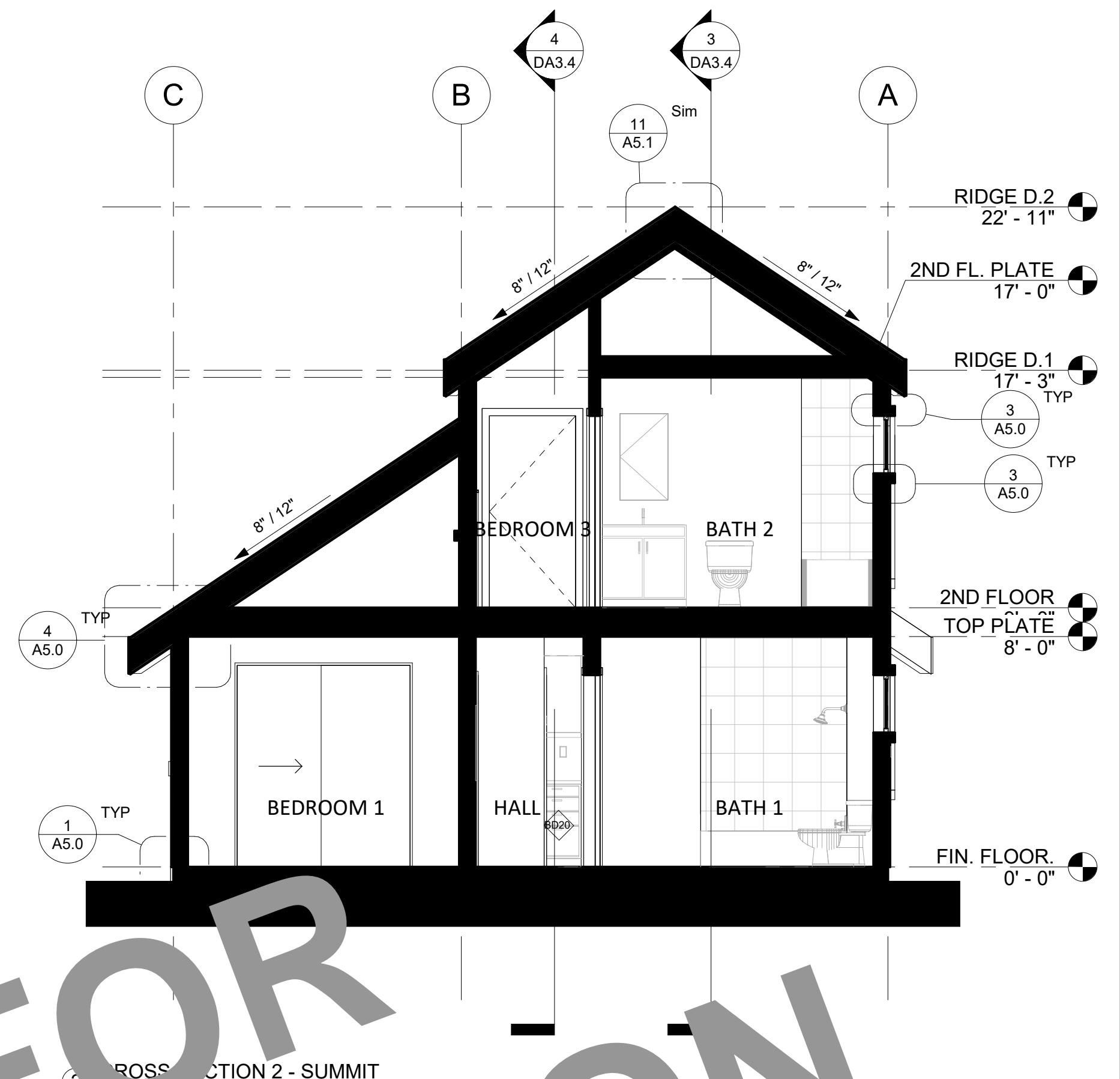
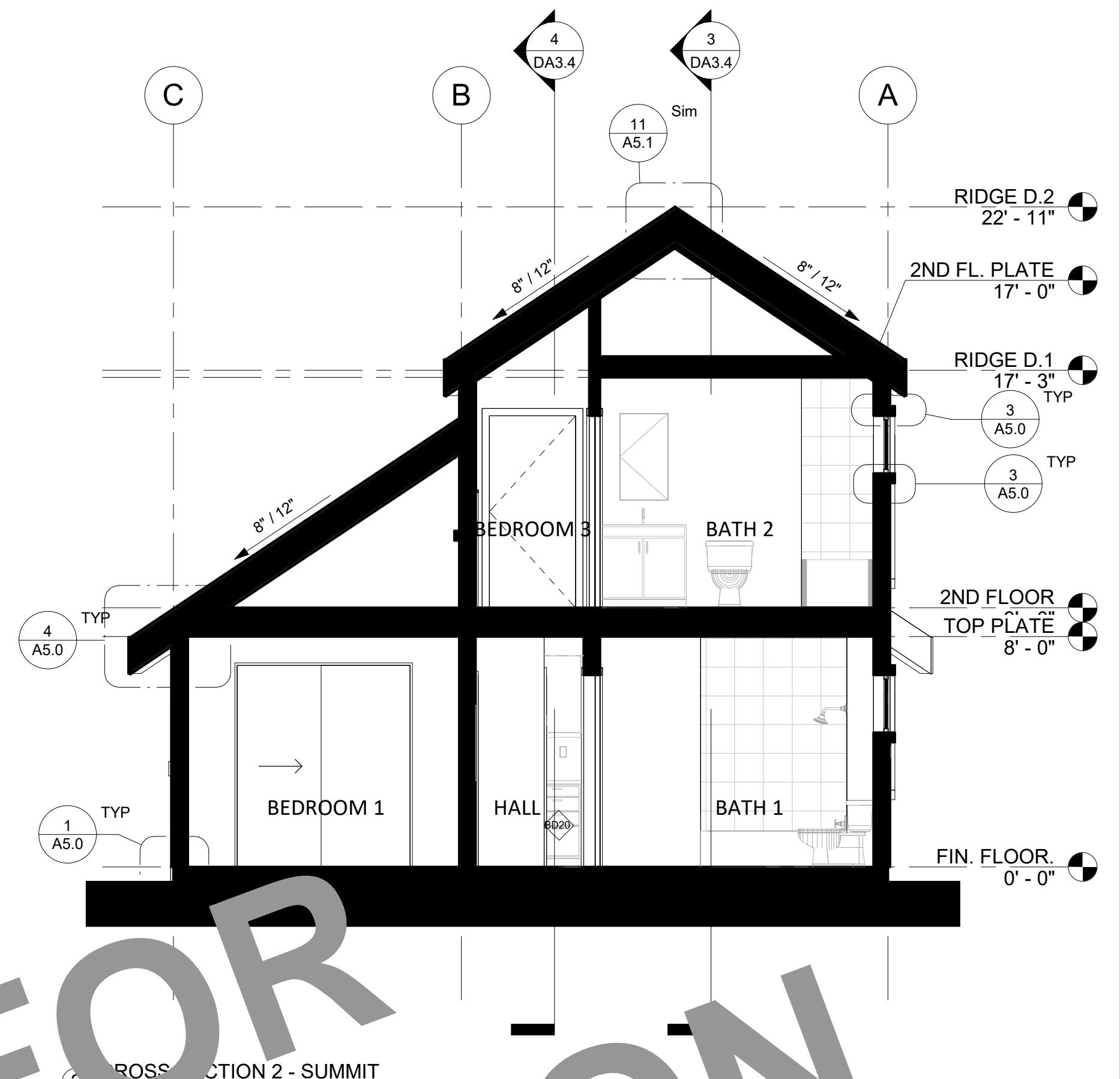
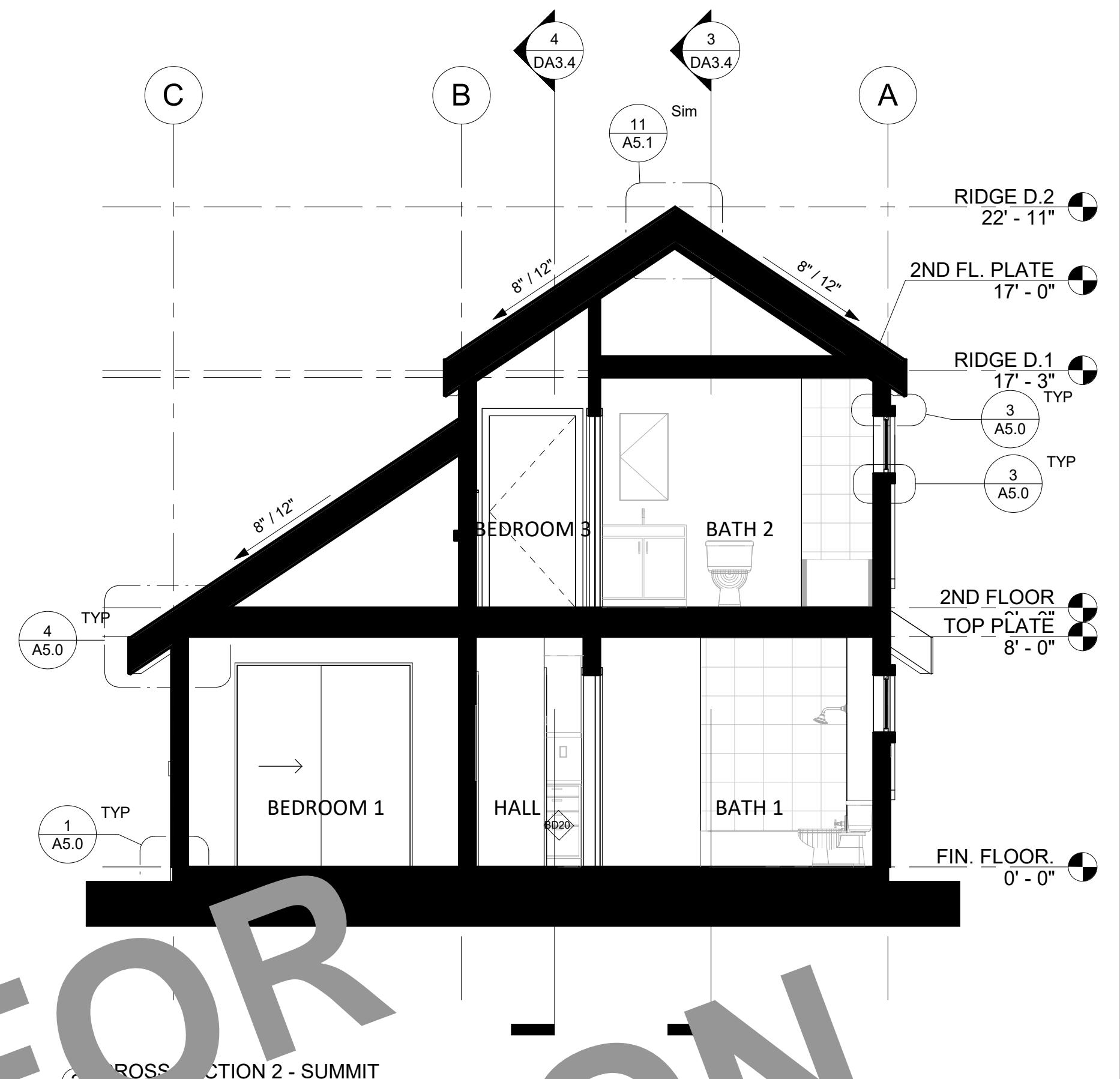
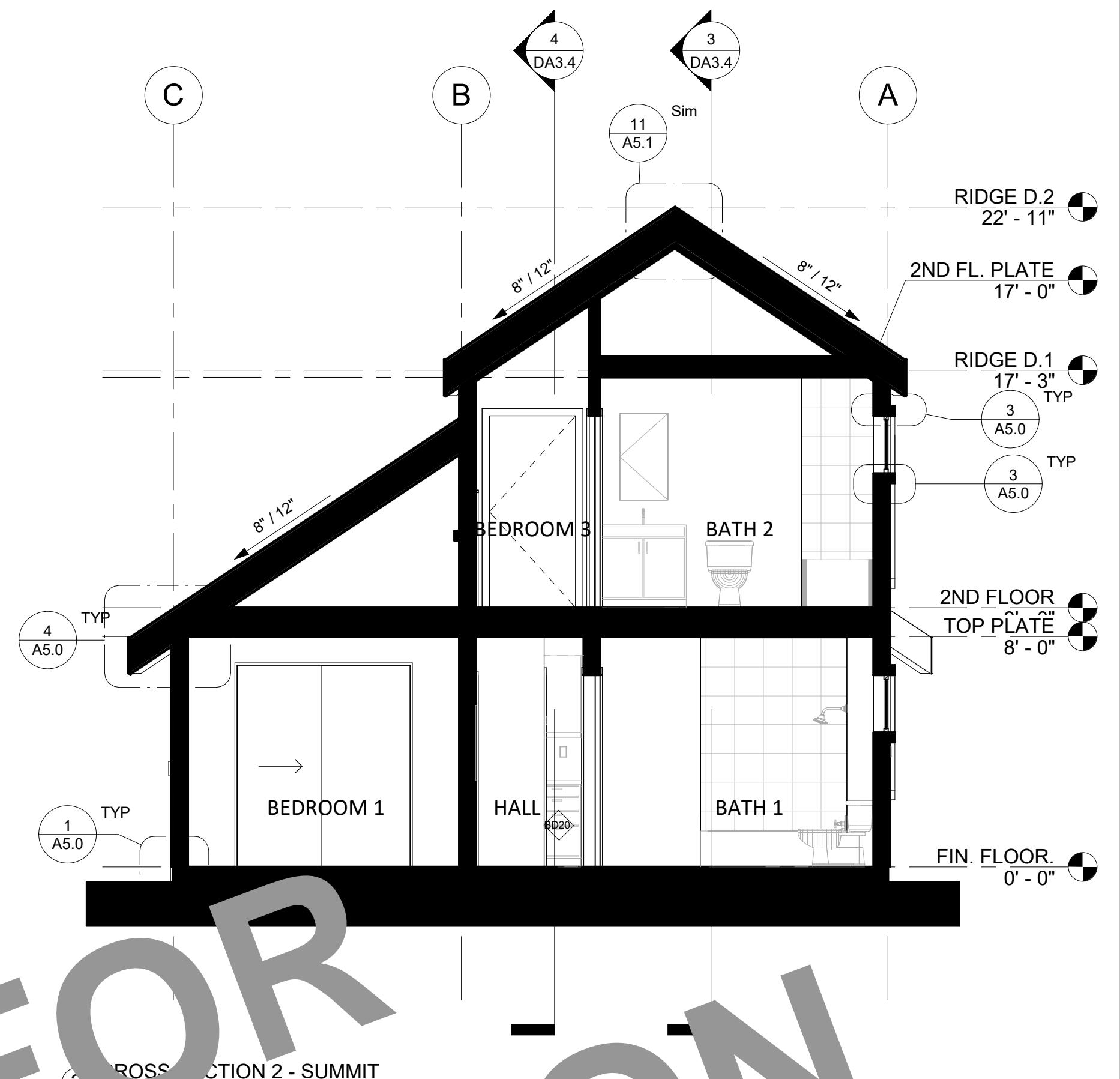
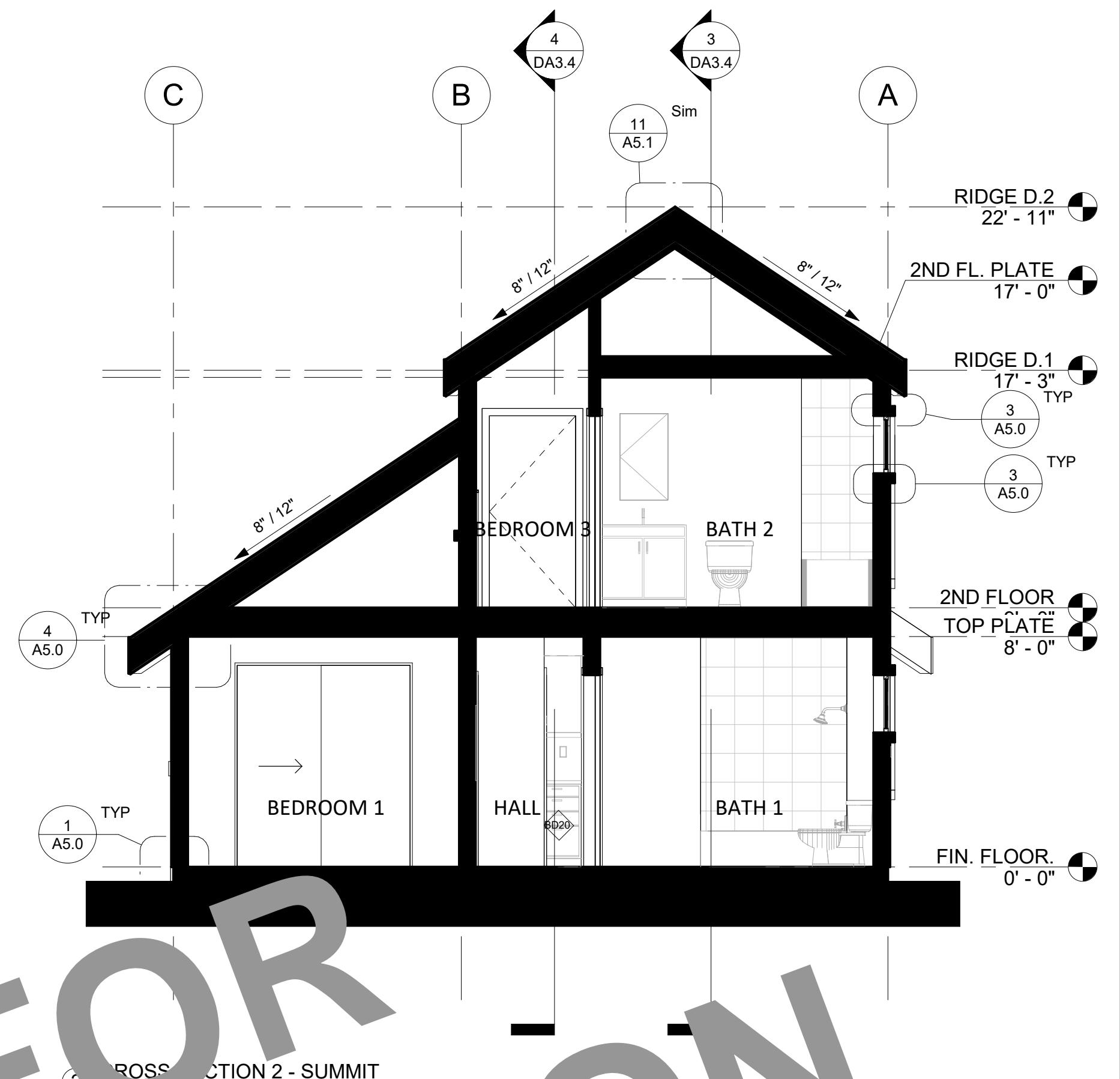
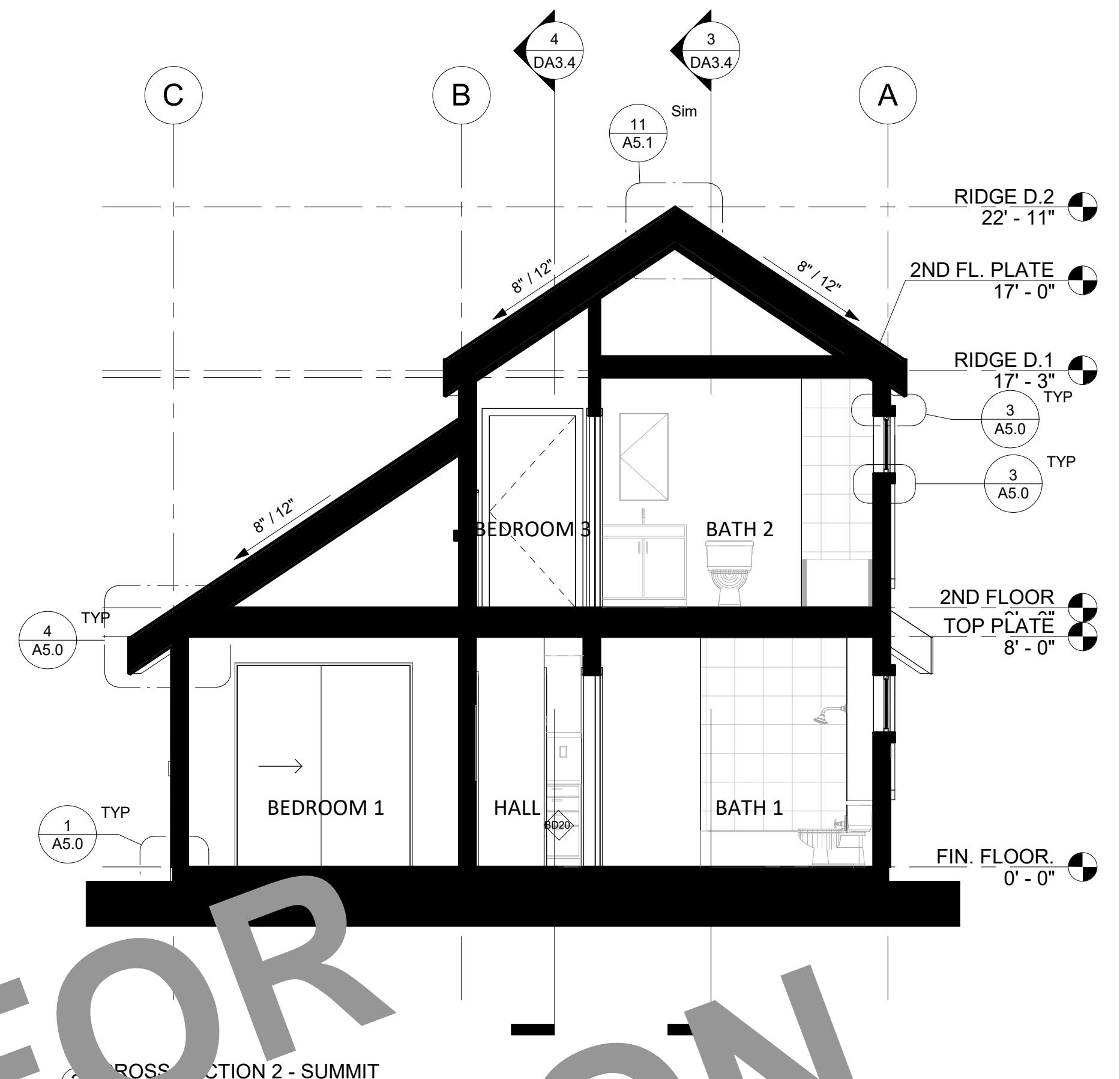
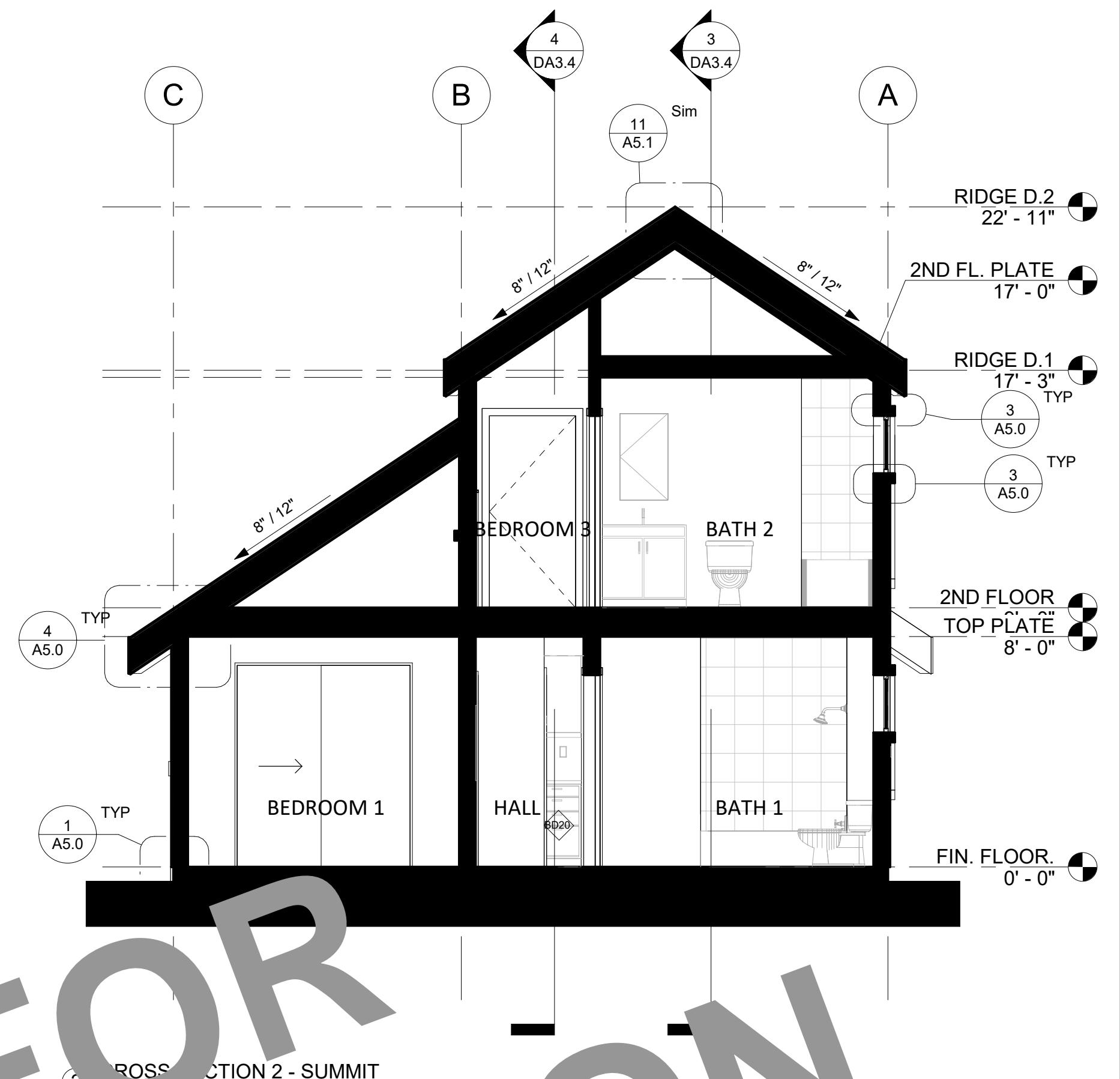
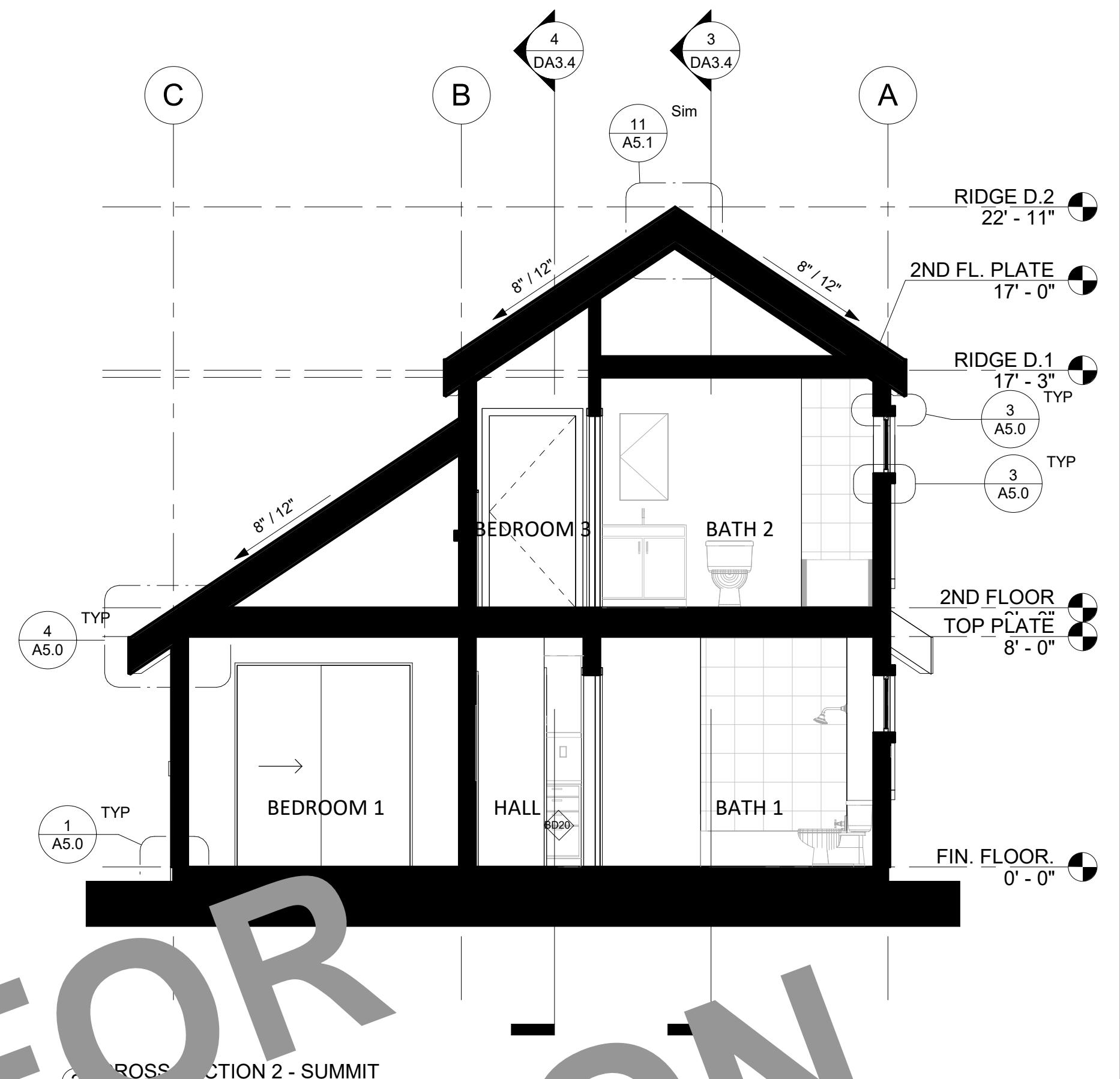
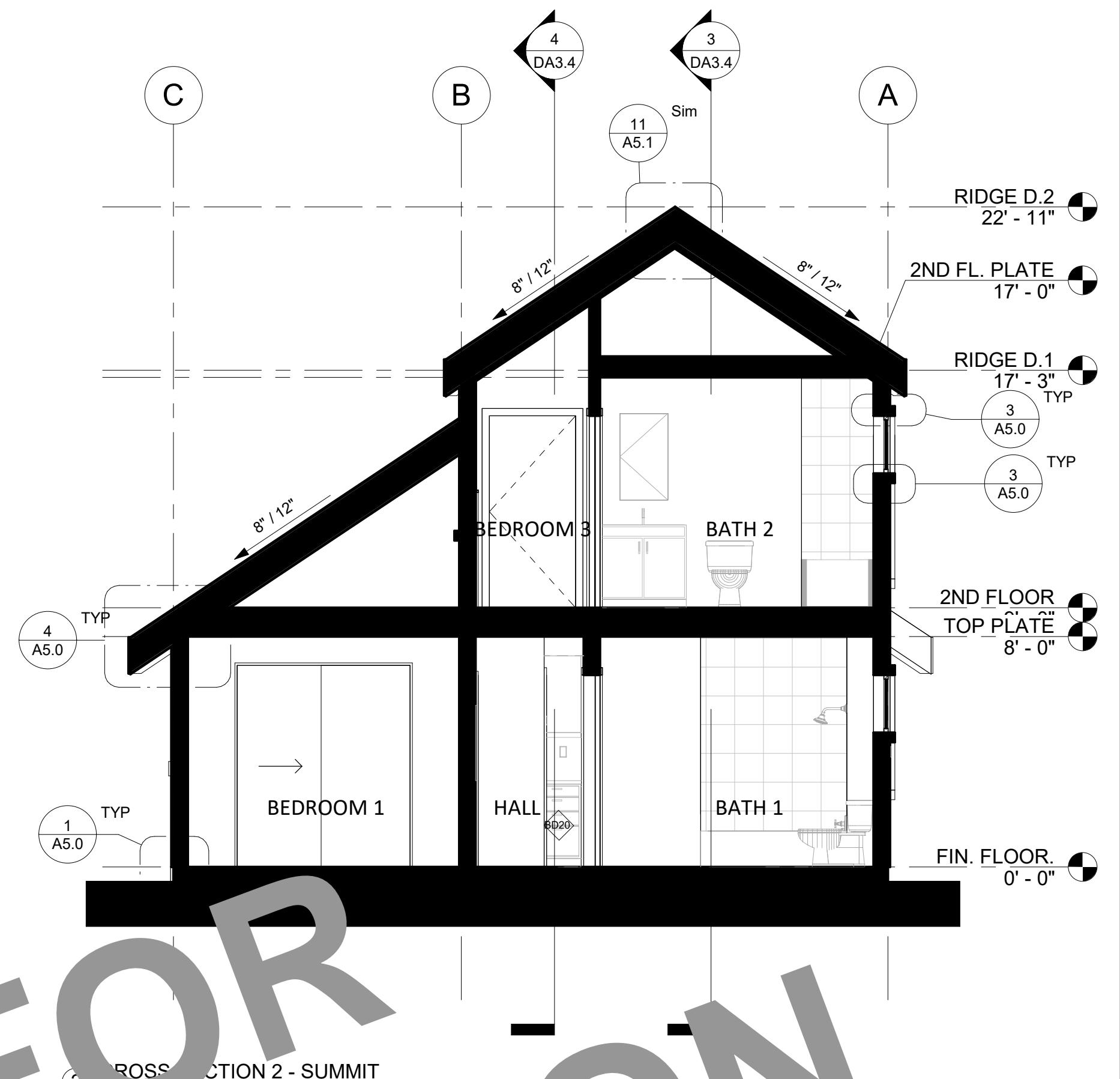
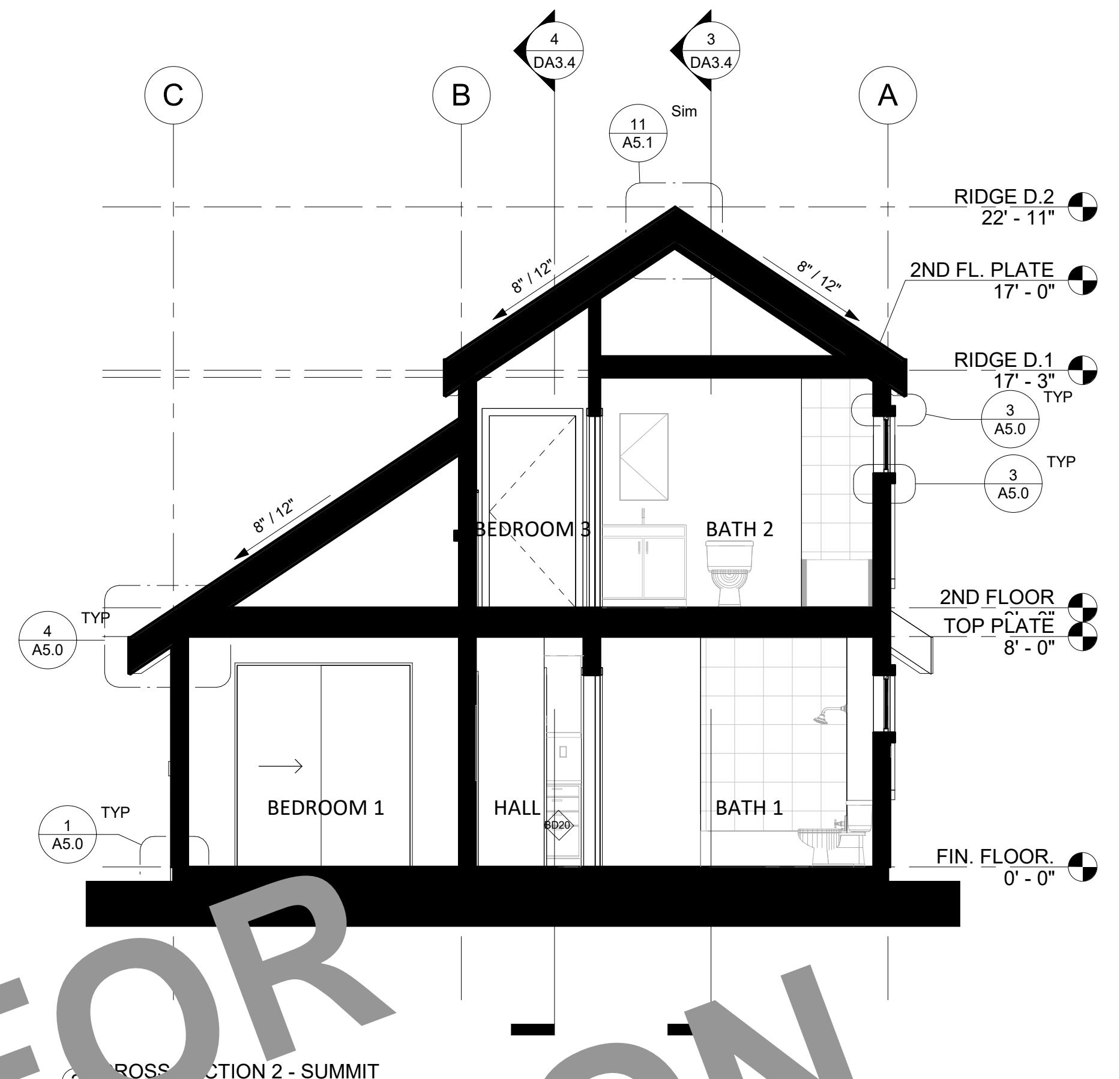
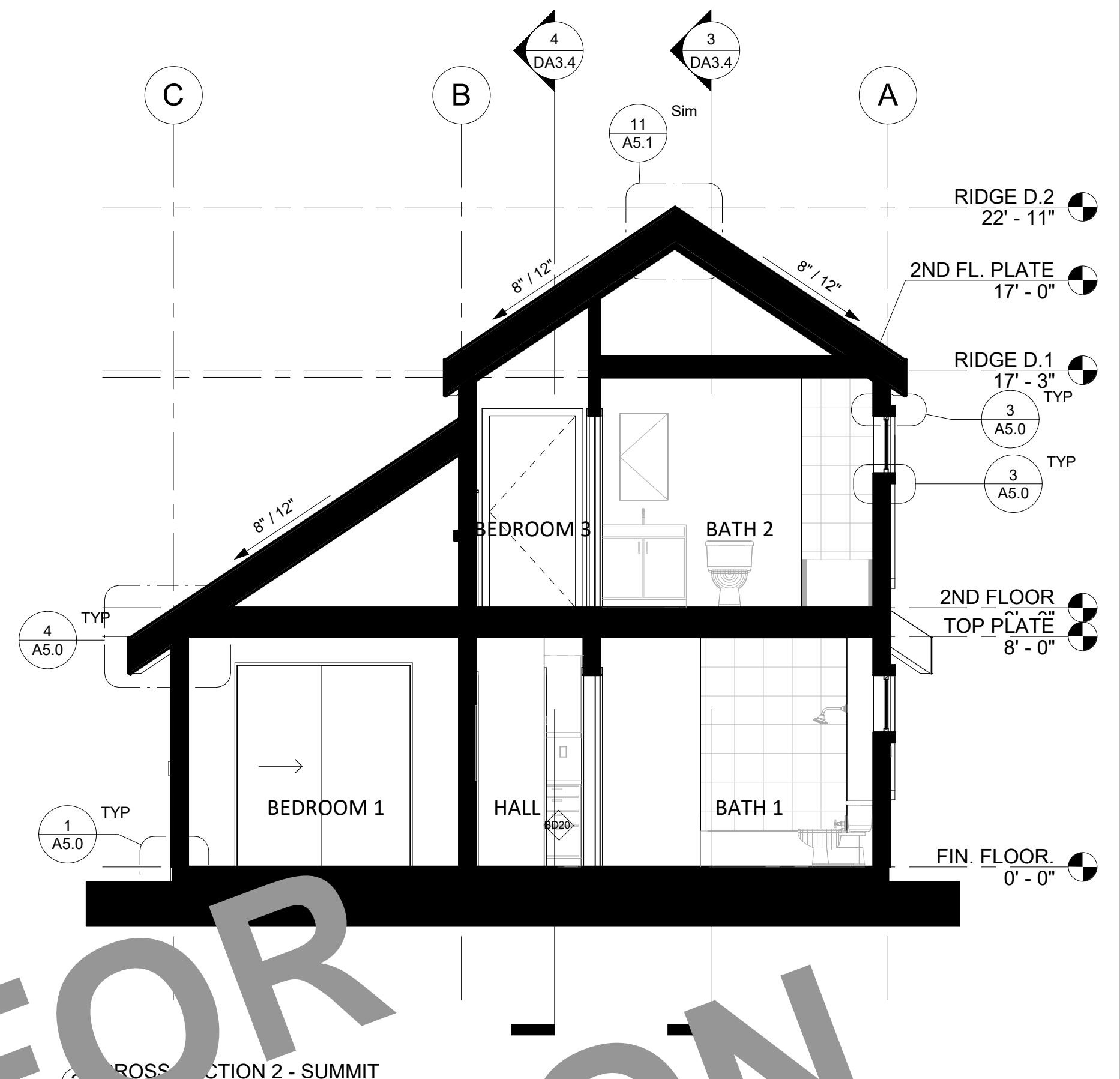
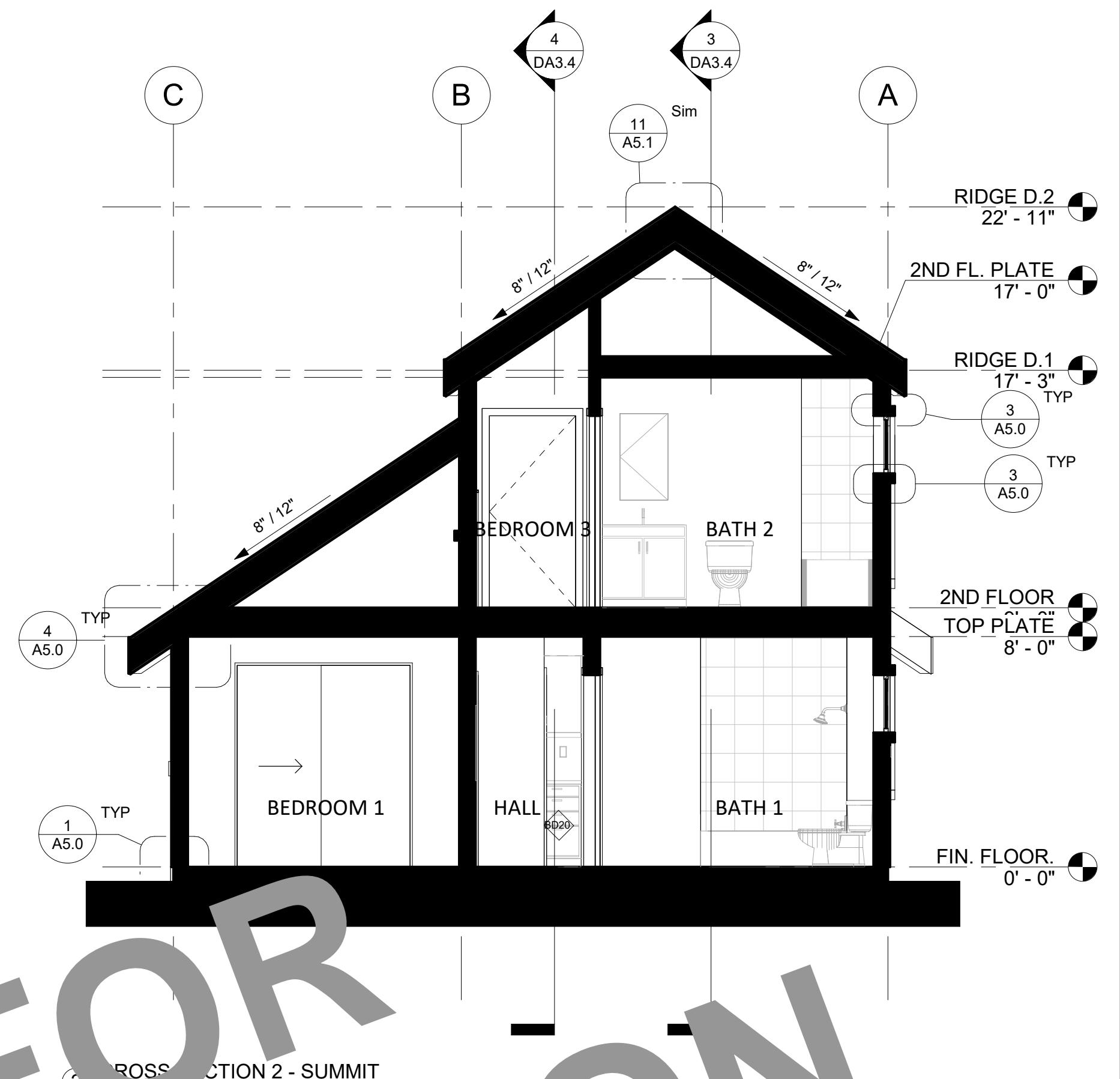
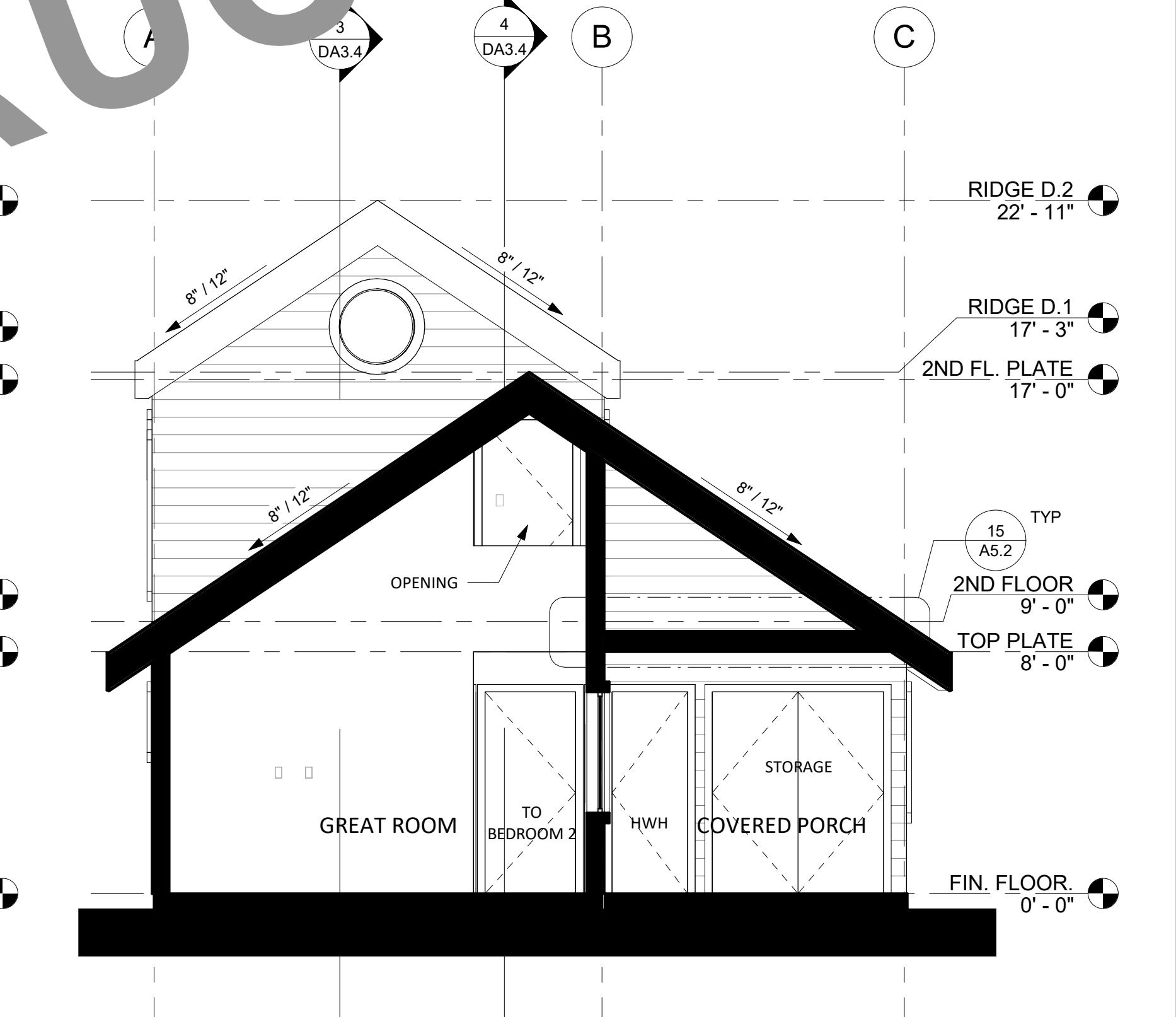
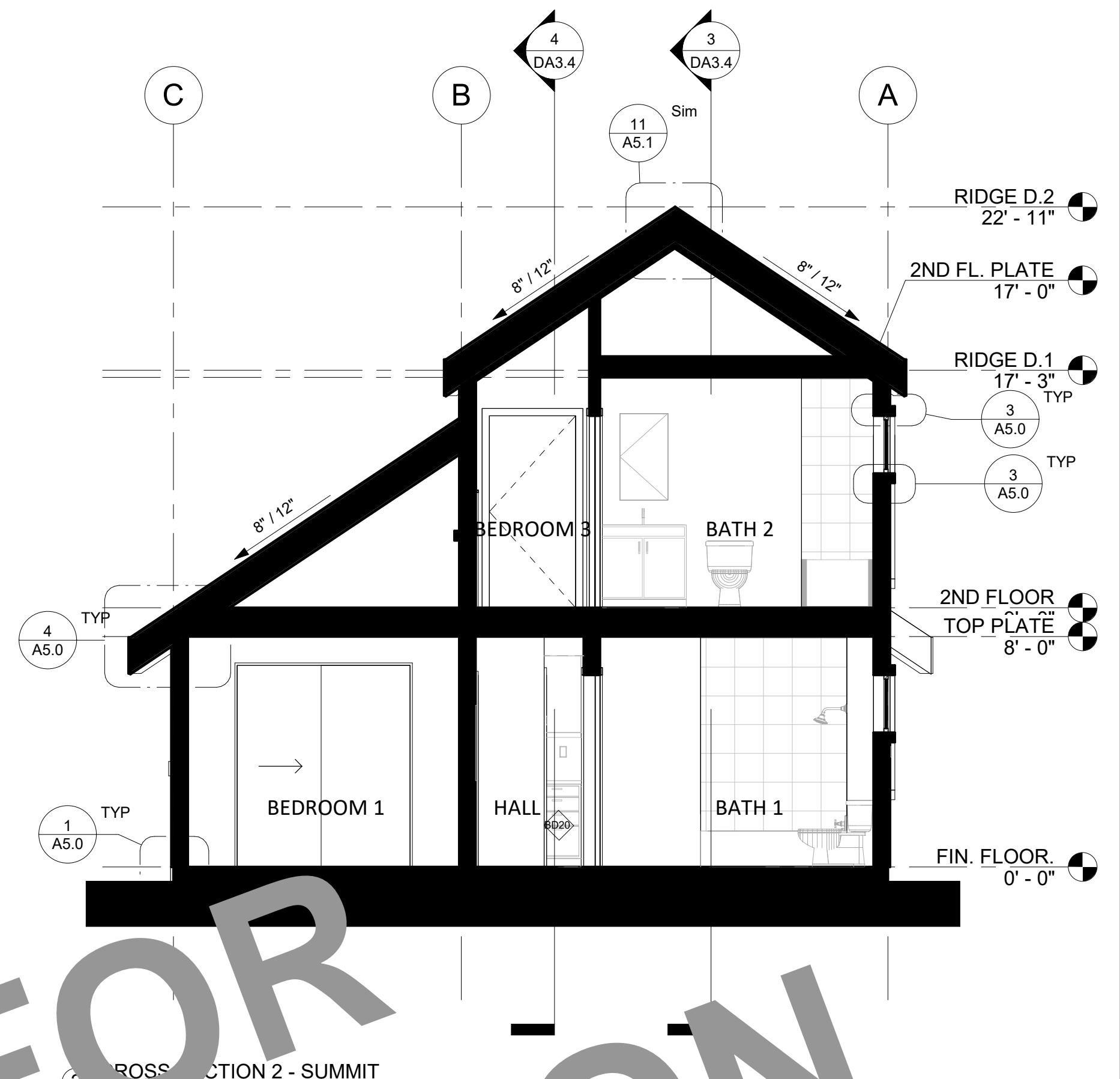
NOT FOR  
CONSTRUCTION

D - GOLDRUSH -  
SECTIONS

A3.4

12/14/2023 10:33:26 AM  
1/4" = 1'-0"

① CROSS SECTION 1 - SUMMIT  
1/4" = 1'-0"



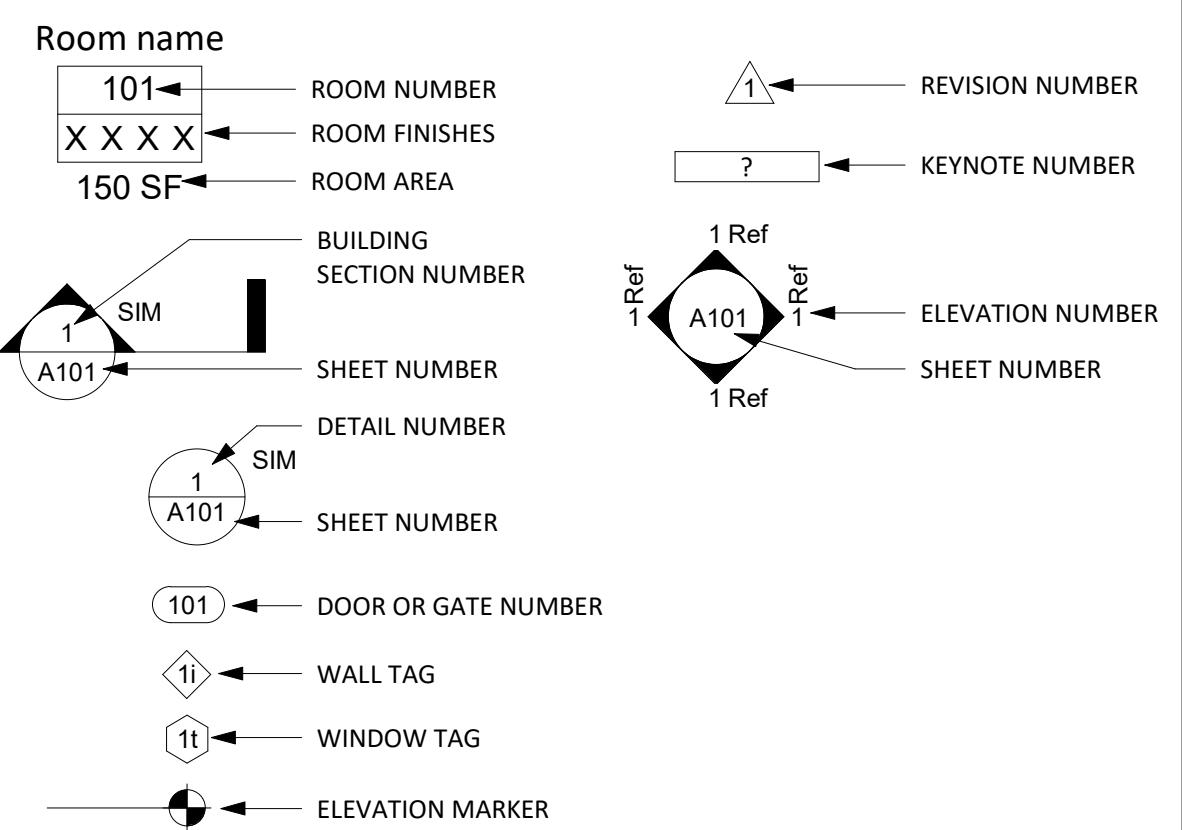
# ROOF PLAN NOTES

1. ROOF DIMENSIONS TAKEN FROM ROOF EDGE/FASCIA TO EXTERIOR FACE OF PLYWOOD. REFER TO REFERENCED DETAILS FOR OVERHANG DIMENSIONS.
2. ALL ROOF AREAS SHALL BE CLASS A RATED COMPOSITION TILES OR EQUAL.
3. WOOD SHINGLES SHALL NOT BE USED.
4. PROVIDE 26 GAUGE CORROSION RESISTANT METAL FLASHING AT ROOF/WALL INTERSECTIONS AND AROUND ROOF OPENINGS.
5. GANG VENTS WHENEVER POSSIBLE.
6. ROOFER AND SOLAR INSTALLER TO COORDINATE INSTALLATION OF PVS AND PV ROOF CLIPS.
7. INSTALL SNOW GUARDS AT METAL ROOFS PER MFG'S. INSTRUCTIONS
8. INSTALL ICE DAM PROTECTION AT ALL ROOF EAVES, VALLEYS AND PITCH CHANGES PER PLUMAS COUNTY AMENDMENTS TO CBC 1507.2.8.2. SEE EAVE DETAILS.

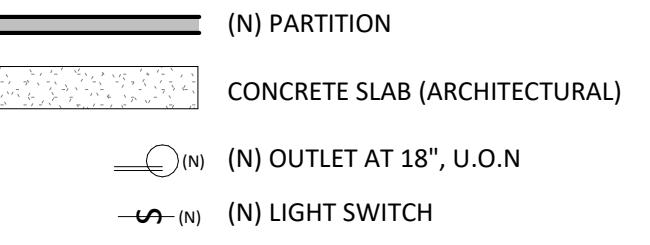
# FLOOR PLAN NOTES

1. FLOORPLAN DIMENSIONS ARE TO FACE OF FRAMING OF SCHEDULED PARTITION OR GRIDLINE, UNLESS OTHERWISE NOTED.
2. GRIDLINES ARE TO EDGE OF CONCRETE OR FACE OF STRUCTURAL FRAMING, UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE TYPE A1 UNLESS OTHERWISE NOTED.
4. SEE SHEET A5.0 FOR EXTERIOR WALL TYPES AND DETAILS.
5. PROVIDE HANGER ROD AND SHELF AT WARDROBE CLOSETS.
6. WHERE THRESHOLDS ARE REQUIRED, PROVIDE ACCESSIBLE THRESHOLDS WITH MAXIMUM 1/2" ELEVATION CHANGE.
7. PROVIDE STRUCTURAL BACKING IN WALLS TO FACILITATE FUTURE INSTALLATION OF GRAB BARS AT TOILET AND SHOWER.
8. SHOWER/TUB FINISH TO BE CERAMIC TILE OVER 1/2" CEMENTITIOUS BACKER BOARD IN ACCORDANCES WITH CRC R702.
9. FLOOR IN BATHROOM TO BE NON-SLIP CERAMIC TILE.
10. SHOWER WALL SURFACES SHALL BE FINISHED WITH A
11. NONABSORBENT SURFACE, SUCH SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (72 INCHES) ABOVE THE FLOOR. (CRC R307.2)
12. TOILETS SHALL HAVE A MINIMUM 30" (15" EACH SIDE FROM CENTER) AND 24" CLEAR FROM FRONT.
13. CONTRACTOR TO VERIFY LAYOUT, ROUGH FRAMING AND FINISH DIMS WITH OWNER'S FINAL INTERIOR DOORS AND FINISH SELECTIONS.
14. CONTRACTOR TO VERIFY EQUIPMENT SIZES PRIOR TO FRAMING.

# GRAPHIC LEGEND



## FLOORPLAN LEGEND



189 WALNUT AVENUE  
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P: 831.227.2217

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# MAS COUNTY DESIGNED ADU

N D - THREE BEDROOM ADU  
1200 GSF

# NOT FOR CONSTRUCTION

# D - MEADOW - FLOORPLANS & ROOF PLAN

# A4.0

PLAN - LEVEL 2 - THREE BEDROOM (1200 GSF)

14' - 10" 24' - 10" 10' - 0"

6' - 2" 2' - 6" 348 348 3E

8' - 1" 1' - 10" 2' - 4 1/2" 6' - 5" 9' - 0 1/2" 18' - 7"

CL. B7 EQ A1 A36 DN HALL 42" PARTIAL HT. WALL OPENING

2' - 4 1/2"

22' - 4 1/2" 50' - 0"

3 DA4.4 4 DA4.4 1 DA3.1 3 4 DA3.1 3 4 DA3.1 4 1 3 1S A2 1S 3E

**VOTE FOR STRUCTURE**



workbench

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WORKBENCHBUILT.COM  
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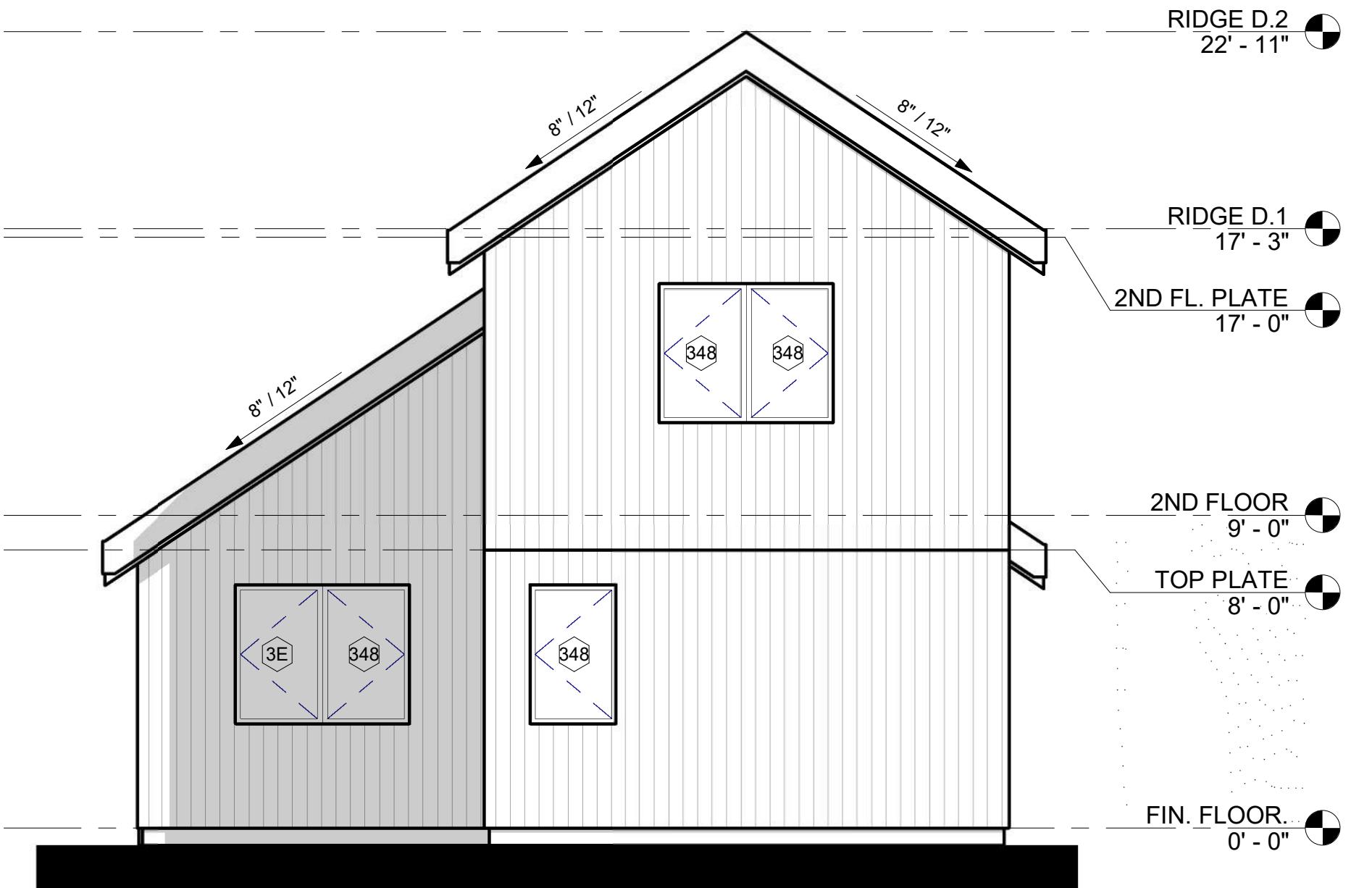
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## PLUMAS COUNTY PRE-DESIGNED ADU

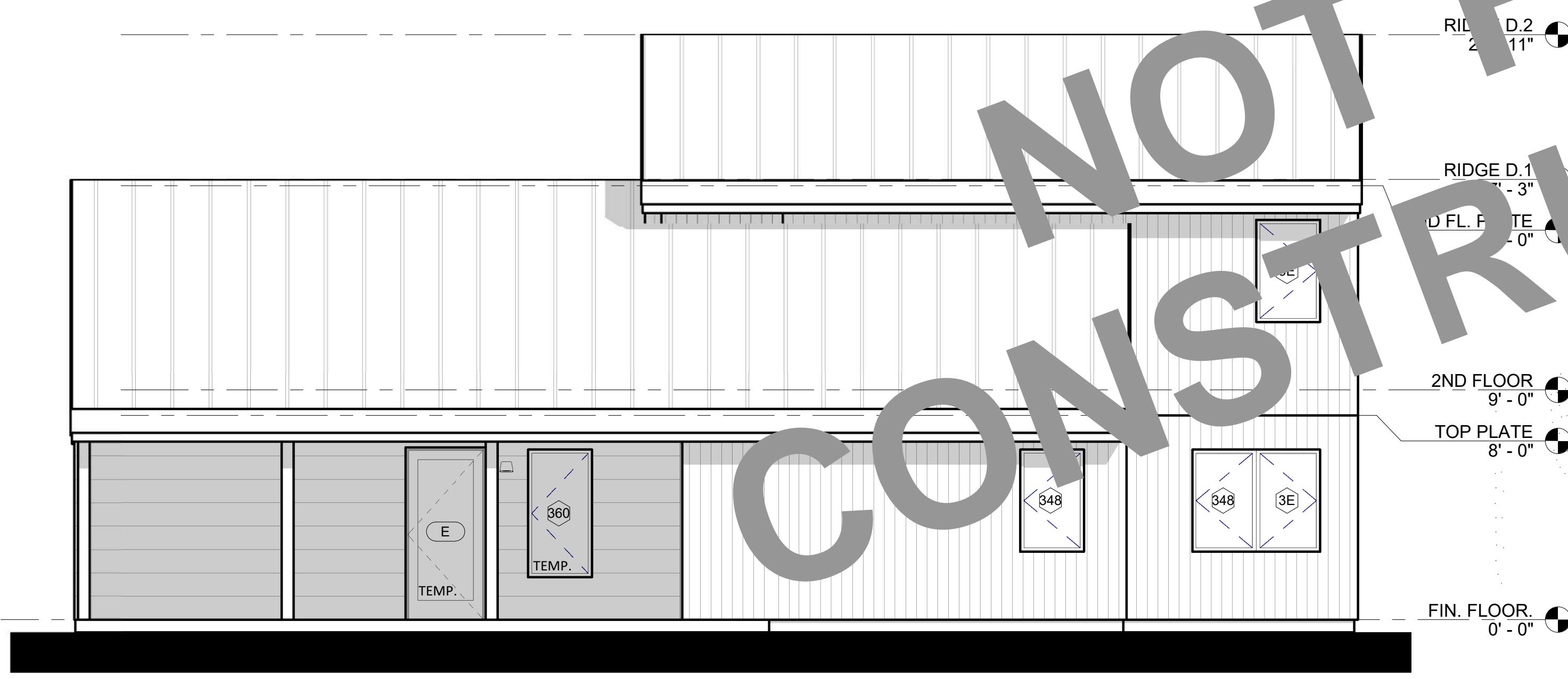
PLAN D - THREE BEDROOM ADU  
1200 GSF



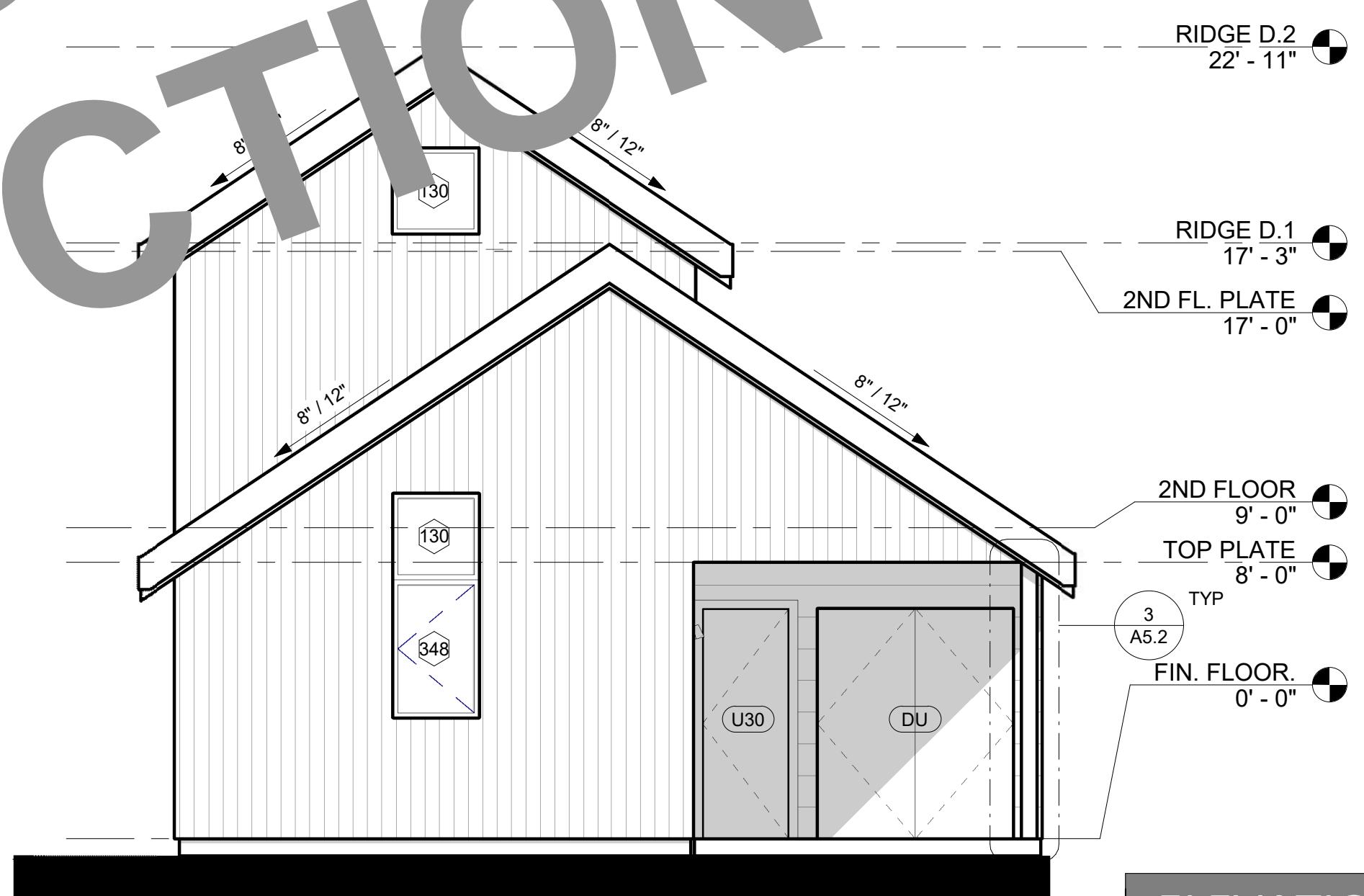
② LEFT ELEVATION - MEADOW  
1/4" = 1'-0"



③ REAR ELEVATION - MEADOW  
1/4" = 1'-0"



① RIGHT ELEVATION - MEADOW  
1/4" = 1'-0"



④ FRONT ELEVATION - MEADOW  
1/4" = 1'-0"

### ELEVATION NOTES

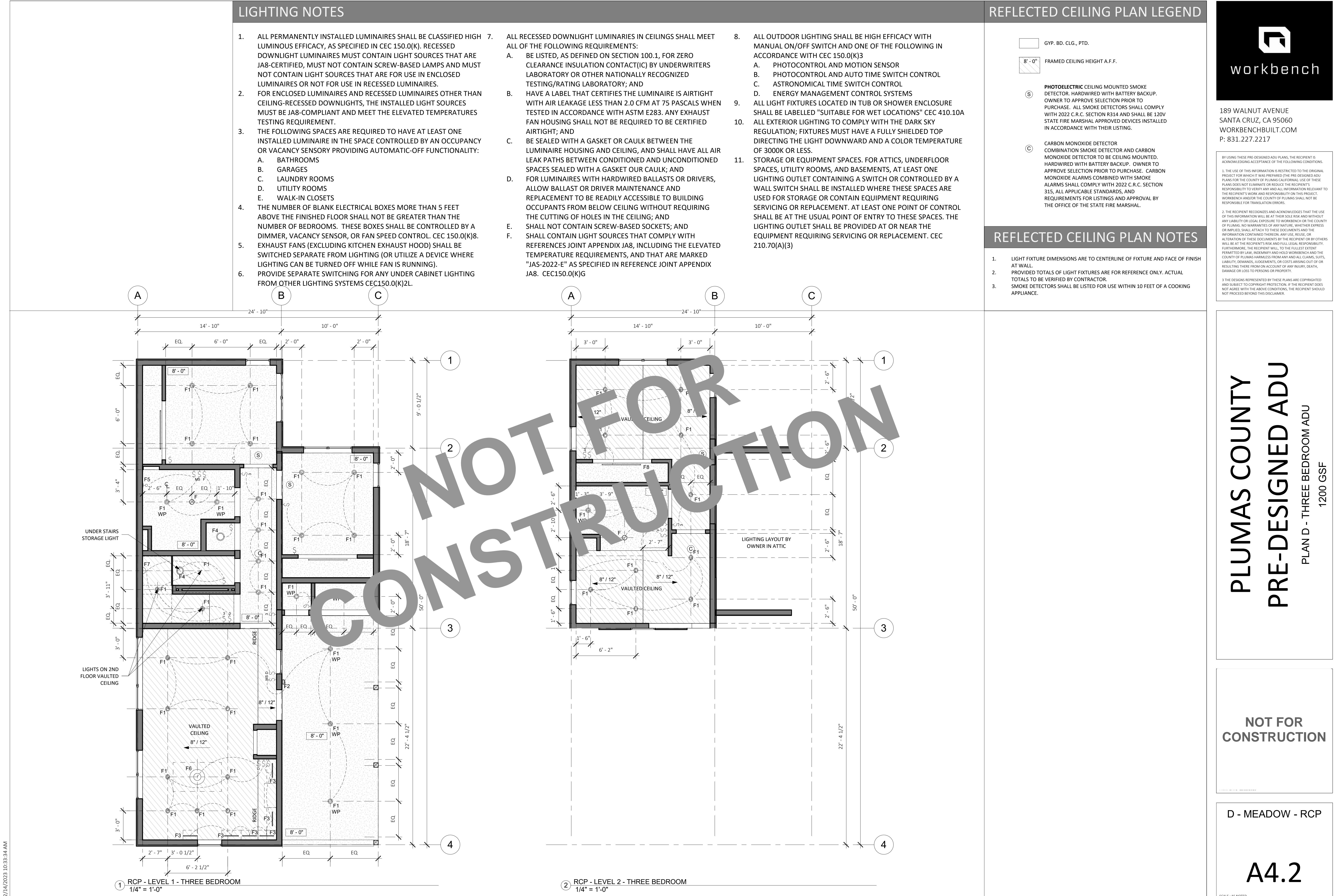
- ELEVATION DIMENSIONS ARE TO GRIDLINE OR CENTERLINE OF WINDOWS, UNLESS OTHERWISE NOTED.
- GRIDLINES ARE TO EDGE OF CONCRETE, CENTERLINE OF FOOTING, OR CENTERLINE OF STRUCTURAL ELEMENTS, UNLESS OTHERWISE NOTED.
- SEE SHEET A5.0 FOR EXTERIOR WALL TYPES AND DETAILS.
- MATERIALS INDICATED ARE SHOWN GENERICALLY. ACTUAL MATERIALS ARE AS SELECTED BY THE OWNER.
- BUILDING HEIGHT MAXIMUM SHALL BE 35'-0" ABOVE AVERAGE NATURAL GRADE.
- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL. CRC327.1.4

NOT FOR  
CONSTRUCTION

D - MEADOW -  
ELEVATIONS

A4.1

SCALE : AS NOTED





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# KITCHEN KEYNOTES

TAG	DESCRIPTION
CABINET WIDTH	
B16	16" BASE CABINET
B32	32" BASE CABINET
BD18	18" BASE CABINET - DRAWERS
BD20	20" BASE CABINET - DRAWERS
BS30	30" BASE CABINET
U18	18" UPPER CABINET
U24	24" UPPER CABINET
U28	28" UPPER CABINET
U32	27" UPPER CABINET
U32	32" UPPER CABINET
UM30	30" UPPER CABINET - ABOVE MICROWAVE

## APPLIANCES

11 11 00.A1	24" CLOTHES DRYER (HOMEOWNER PROVIDED)
11 11 00.A2	24" CLOTHES WASHER (HOMEOWNER PROVIDED)
11 11 00.A4	24" DISHWASHER
11 11 00.A8	24" STACKED CLOTHES DRYER
11 11 00.A14	30" ELECTRIC RANGE
11 11 00.A15	30" MICROWAVE / HOOD VENT COMBO UNIT
11 11 00.A9	30" REFRIGERATOR

PLUMBING

22 40 00.A4 30" KITCHEN SINK/FAUCET

**LONGITUDINAL SECTION 1 - SUMMIT**  
1/4" = 1'-0"

**CROSS SECTION 2 - SUMMIT**  
1/4" = 1'-0"

**STRUCTURE DETAILS:**

- 1:** TYP SIM (12 A5.0)
- 2:** DA4.4 (2)
- 3:** DA4.4 (1)
- 4:** DA4.4 (4)
- C:** TYP (12 A5.1)
- B:** TYP (12 A5.0)
- A:** TYP (1 A5.0)

**SECTION 1 - SUMMIT (Left):**

- Rooms:** BEDROOM 2, BATH 1, GREAT ROOM, ENTRY DOOR, CLOSET, BOOK CASE, STAIRS, BEDROOM 3, BATH 2.
- Structural:** RIDGE D.2 (22'-11"), RIDGE D.1 (17'-3"), 2ND FL. PLATE (17'-0"), 2ND FLOOR (9'-0"), TOP PLATE (8'-0"), FIN. FLOOR. (0'-0")
- Storage:** STORAGE UNDER STAIRS.

**SECTION 2 - SUMMIT (Right):**

- Rooms:** BEDROOM 1, HALL, BATH 1, BATH 2, BEDROOM 3.
- Structural:** RIDGE D.2 (22'-11"), RIDGE D.1 (17'-3"), 2ND FL. PLATE (17'-0"), 2ND FLOOR (9'-0"), TOP PLATE (8'-0"), FIN. FLOOR. (0'-0")

**Large Text:** REFOR

# PLUMAS COUNTY PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU  
1200 GSF

# NOT FOR CONSTRUCTION

## D - MEADOW - SECTIONS

## A4.4



workbench

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# PLUMAS COUNTY PRE-DESIGNED ADU

PLAN A- STARTER ONE BEDROOM ADU

705 GSF

NOT FOR  
CONSTRUCTION

EXTERIOR WALL  
ASSEMBLY DETAILS

A5.0

SCALE : AS NOTED

## DETAIL GENERAL NOTES

1. BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
2. BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS.
3. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [CRC R317.1.5]
4. REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.
5. REFER TO TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.

## WUI NOTES

THE WILDLAND-URBAN INTERFACE (WUI) IS A ZONE OF TRANSITION BETWEEN WILDERNESS (UNOCCUPIED LAND) AND LAND DEVELOPED BY HUMAN ACTIVITY – AN AREA WHERE A BUILT ENVIRONMENT MEETS OR INTERMINGLES WITH A NATURAL ENVIRONMENT. HOMEOWNERS SHOULD VERIFY WITH THEIR JURISDICTION'S BUILDING DEPARTMENT TO SEE IF THEIR PROPERTY IS LOCATED WITHIN A WUI ZONE. THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND CALIFORNIA RESIDENTIAL CODE.

**ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5**  
ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL: BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS; BE FIRESTOPPED WITH APPROVED MATERIALS; OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VELVET FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

**EXTERIOR WALLS/SIDING. CBC 707A.3 / CRC R337.7.3**  
NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSFM WEBSITE LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

**EAVES AND PORCH CEILINGS. CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6**  
THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

**VENTS. CBC 706A / CRC R337.6**  
VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENTS TO BE INSTALLED ON THE UNDERSIDE OF EAVES FOR VENTILATED ATTIC SPACES PROTECTED WITH FIRE SPRINKLERS, AND VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE. VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. AN EXCEPTION ALLOWS VENT 1/8" OPENINGS ON TOP OF SLOPED ROOFS THAT ARE CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

**WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8**  
WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

**EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9**  
WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

**UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8**  
EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

## PERFORMANCE NOTES

ENSURE THAT MANDATORY MINIMUM REQUIREMENTS ARE MET, PER BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS / TITLE 24, PART 6, INCLUDING BUT NOT LIMITED TO:

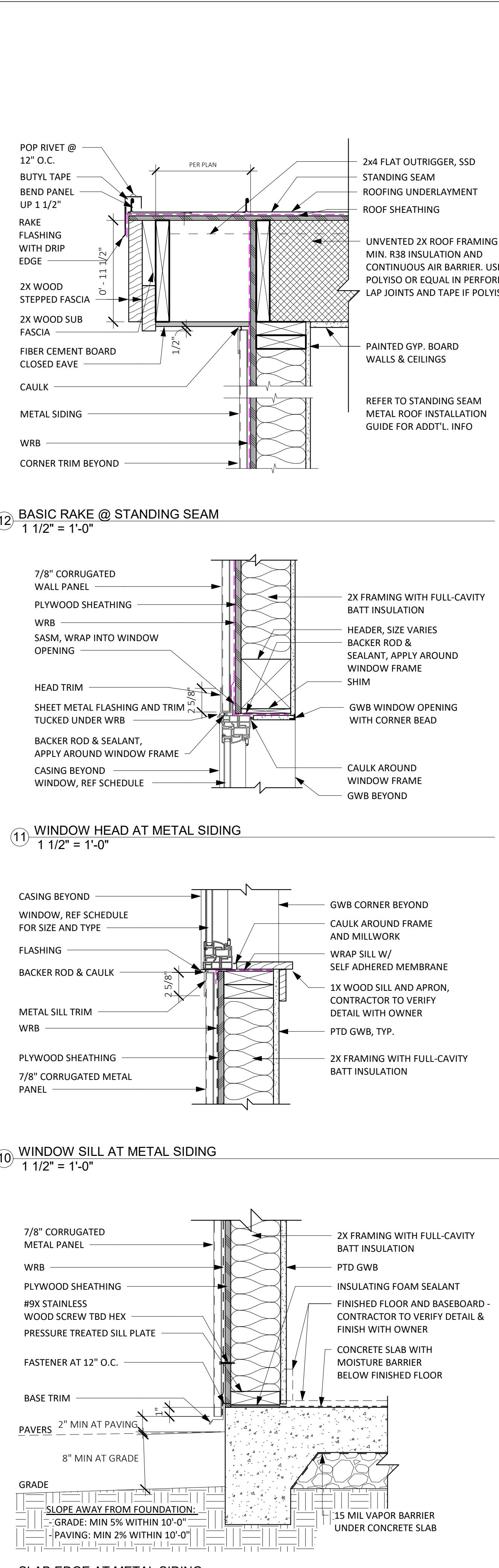
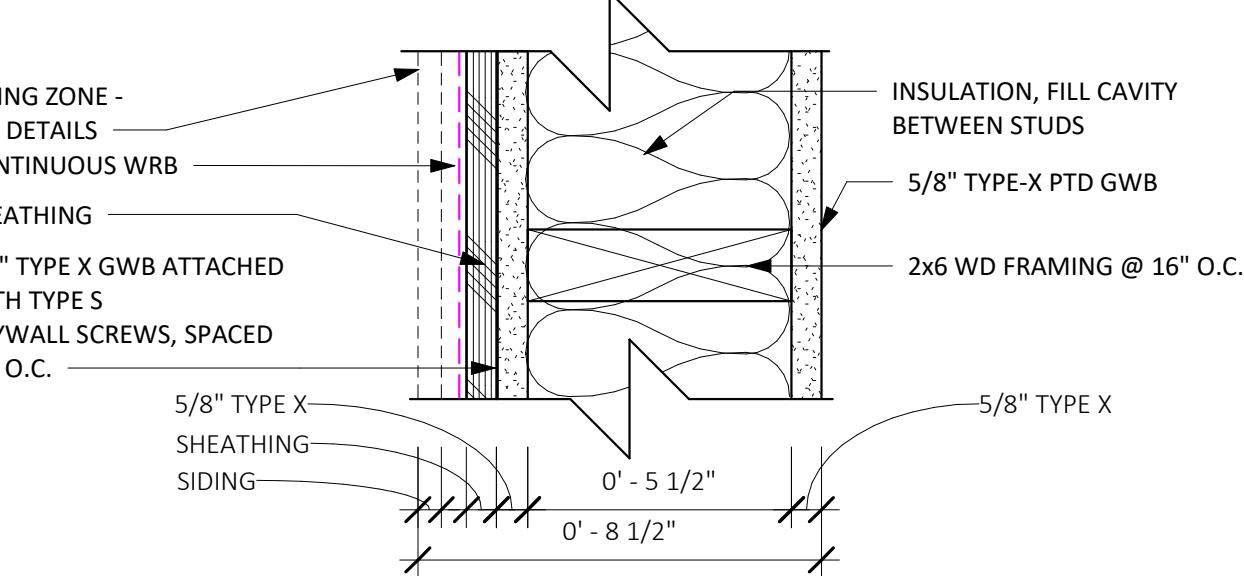
1. SECTION 110.6: MANDATORY REQUIREMENTS FOR FENESTRATION PRODUCTS AND EXTERIOR DOORS, I.E. CERTIFICATION OF AIR LEAKAGE, U-FACTOR, SHGC, VISIBLE LIGHT TRANSMITTANCE, ETC.
2. SECTION 110.7: LIMITING AIR LEAKAGE, I.E. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE LIKELY TO LIMIT INFILTRATION OR EXFLATION.
3. SECTION 110.8: MANDATORY REQUIREMENTS FOR INSULATION, ROOFING PRODUCTS AND RADIANT BARRIERS, INCLUDING REQUIREMENTS FOR FLAME SPREAD RATING OF INSULATION AND APPLICABLE SLAB INSULATION REQUIREMENTS.
4. SECTION 150.0: MANDATORY FEATURES AND DEVICES AND SECTION 150.1 – PERFORMANCE AND PRESCRIPTIVE COMPLIANCE APPROACHES FOR LOW-RISE RESIDENTIAL BUILDINGS (AS APPLICABLE).

## FIRE RATING NOTES

1. WITHIN 3-5 FT OF PROPERTY LINE, THE WALL ASSEMBLY SHALL BE 1-HOUR RATED WITH THE AREA OF OPENINGS LIMITED TO 25% OF THE WALL AREA.

WB STANDARD:

1-HR RATED WALL PER CBC TABLE 721.1(2), ITEM #15-1.12\*



E3 CORRUGATED METAL SIDING

E2 BOARD AND BATTEN SIDING - FIBER CEMENT

E1 HORIZONTAL LAP SIDING - FIBER CEMENT



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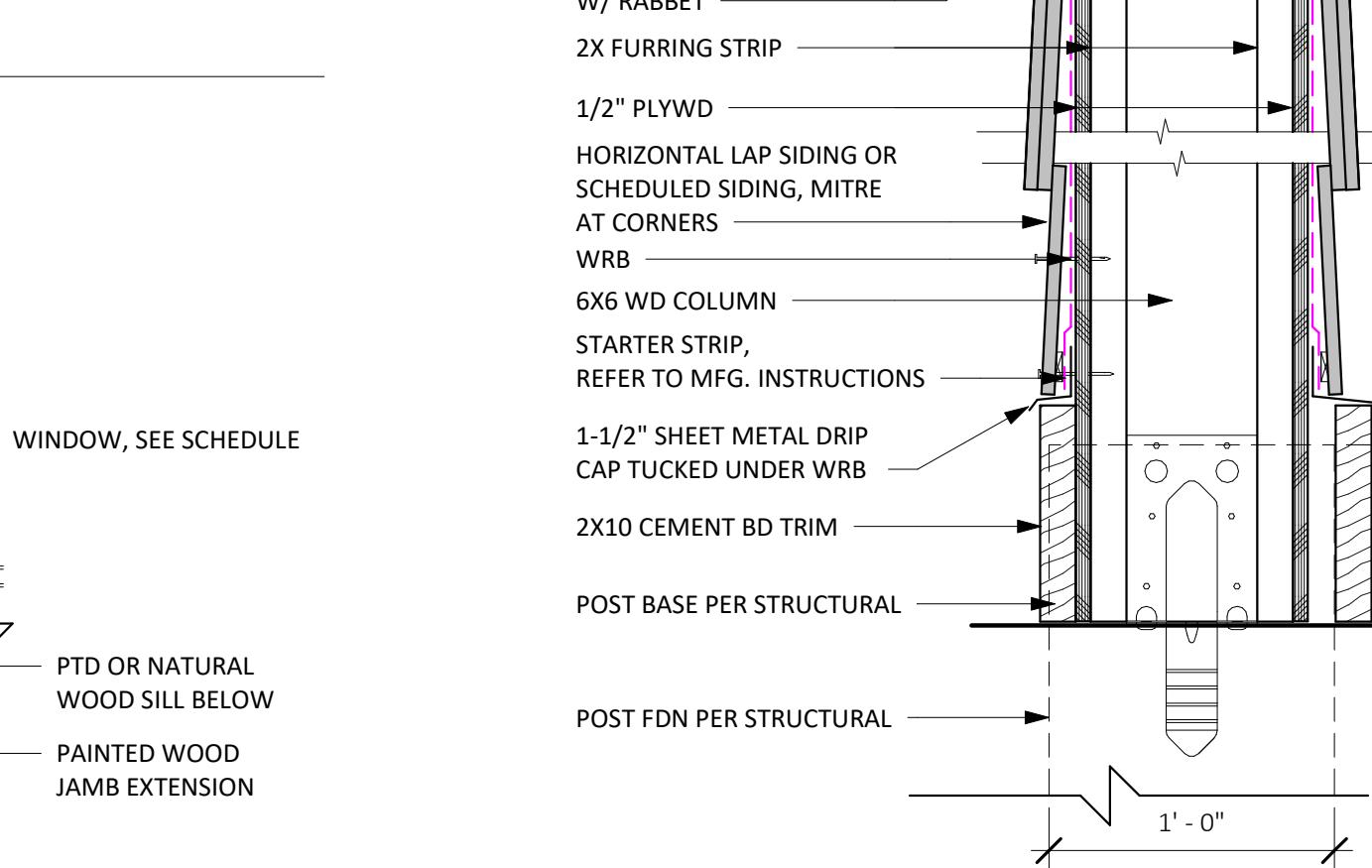
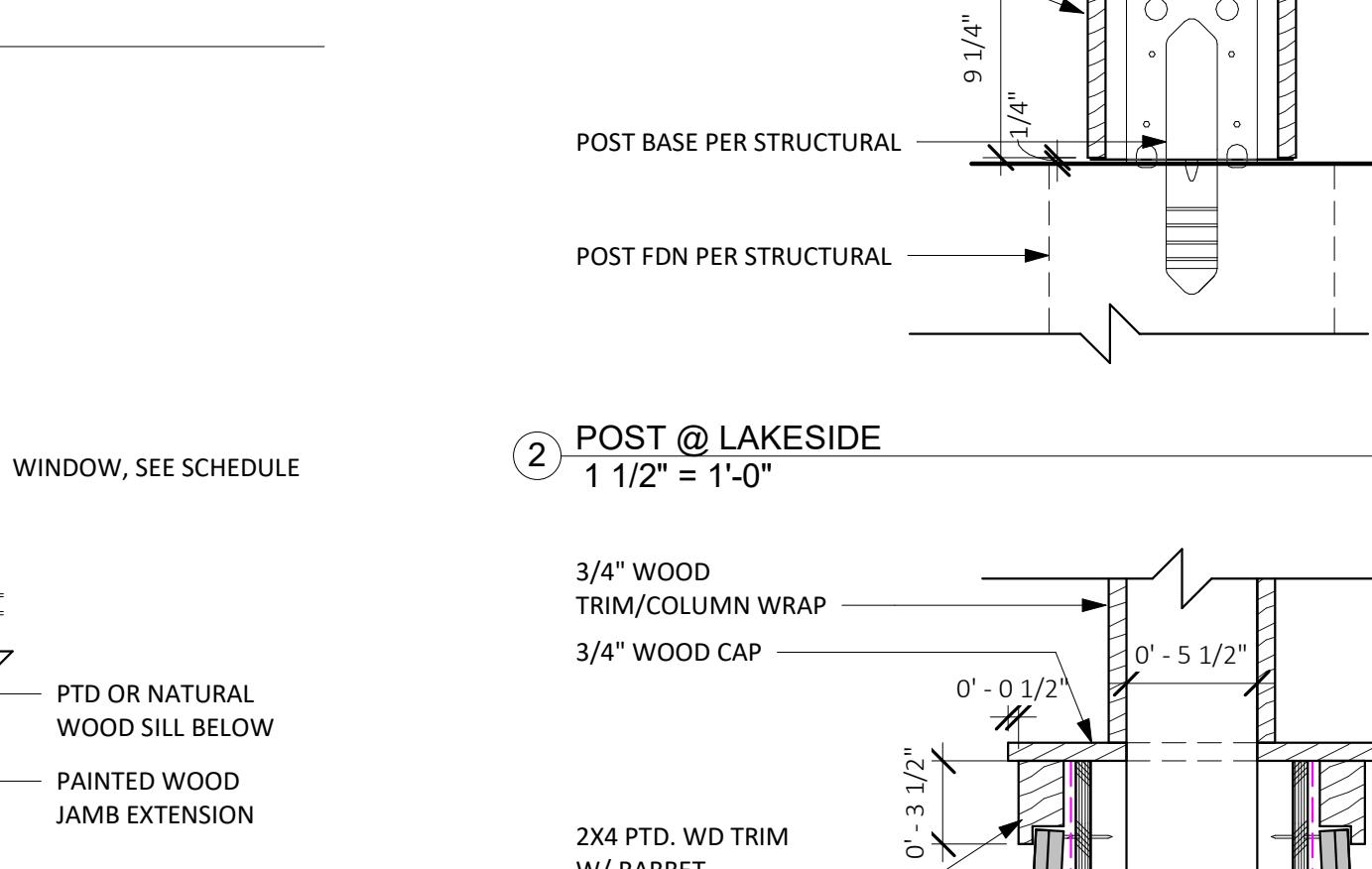
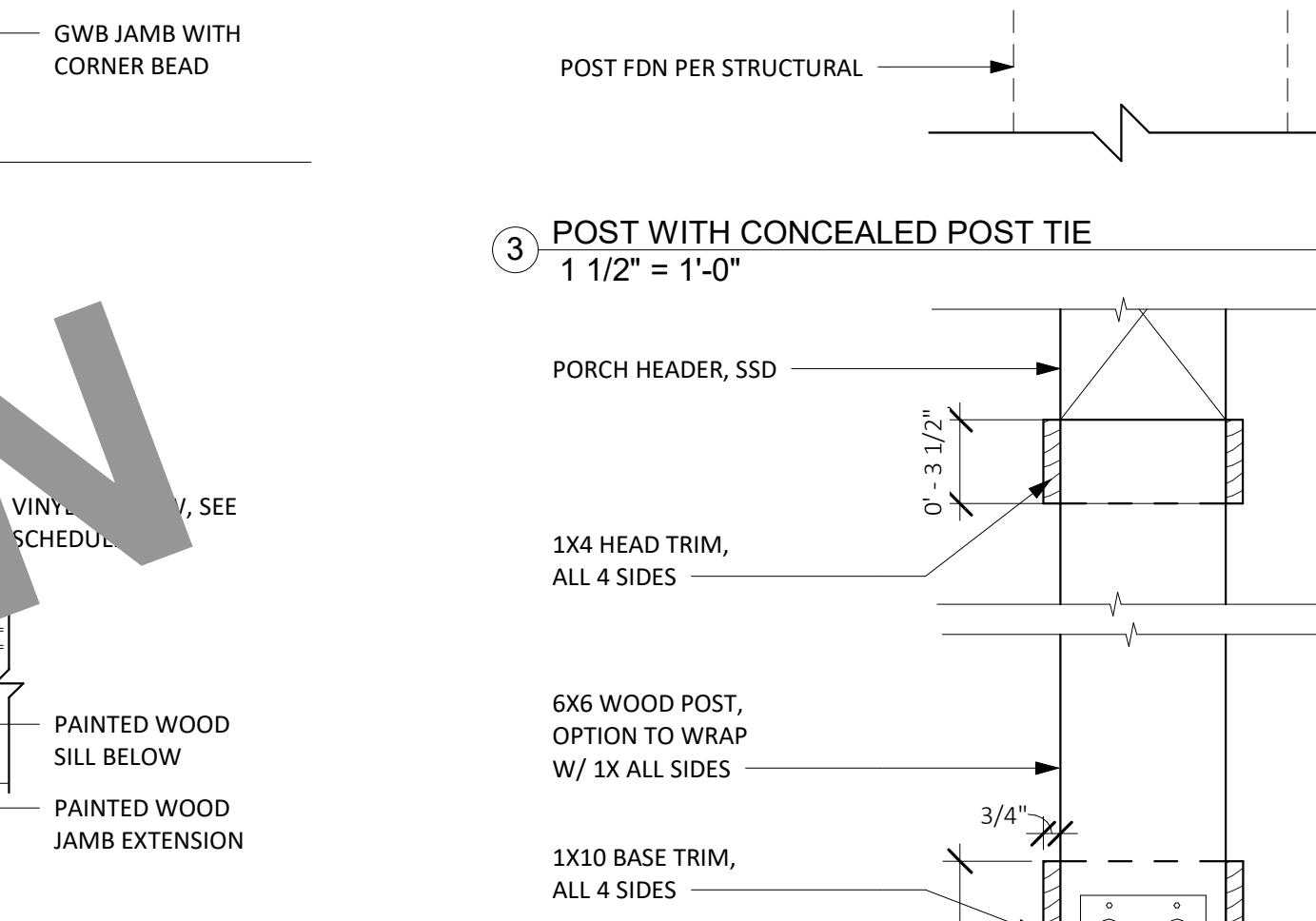
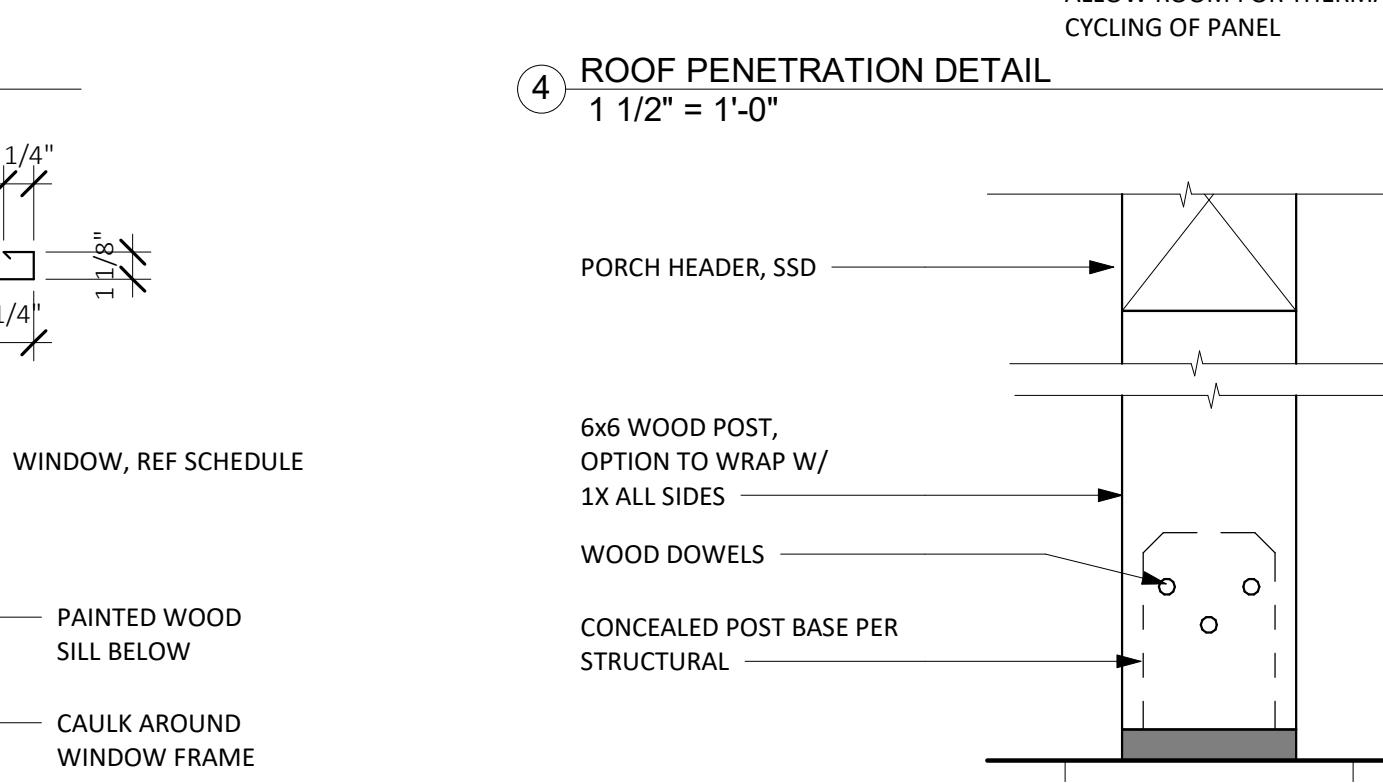
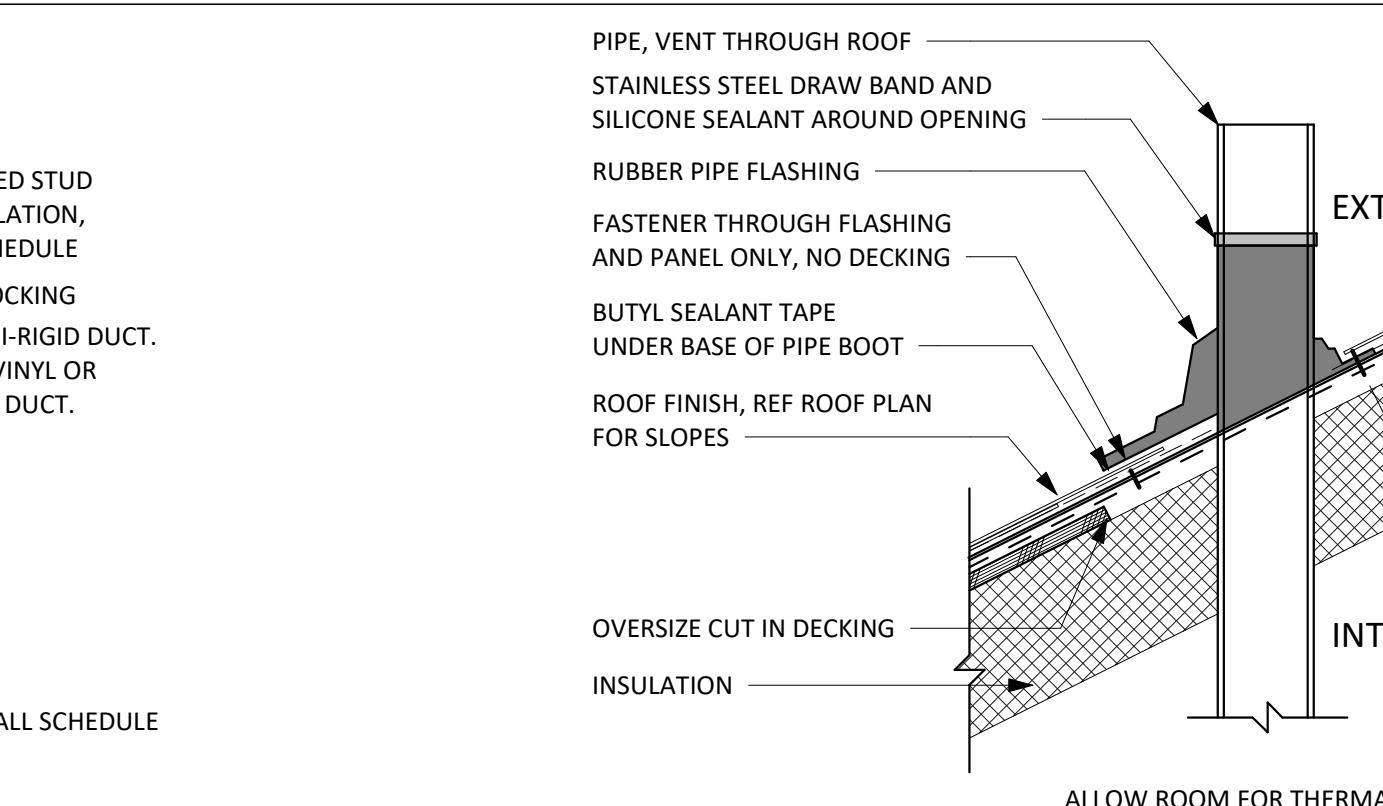
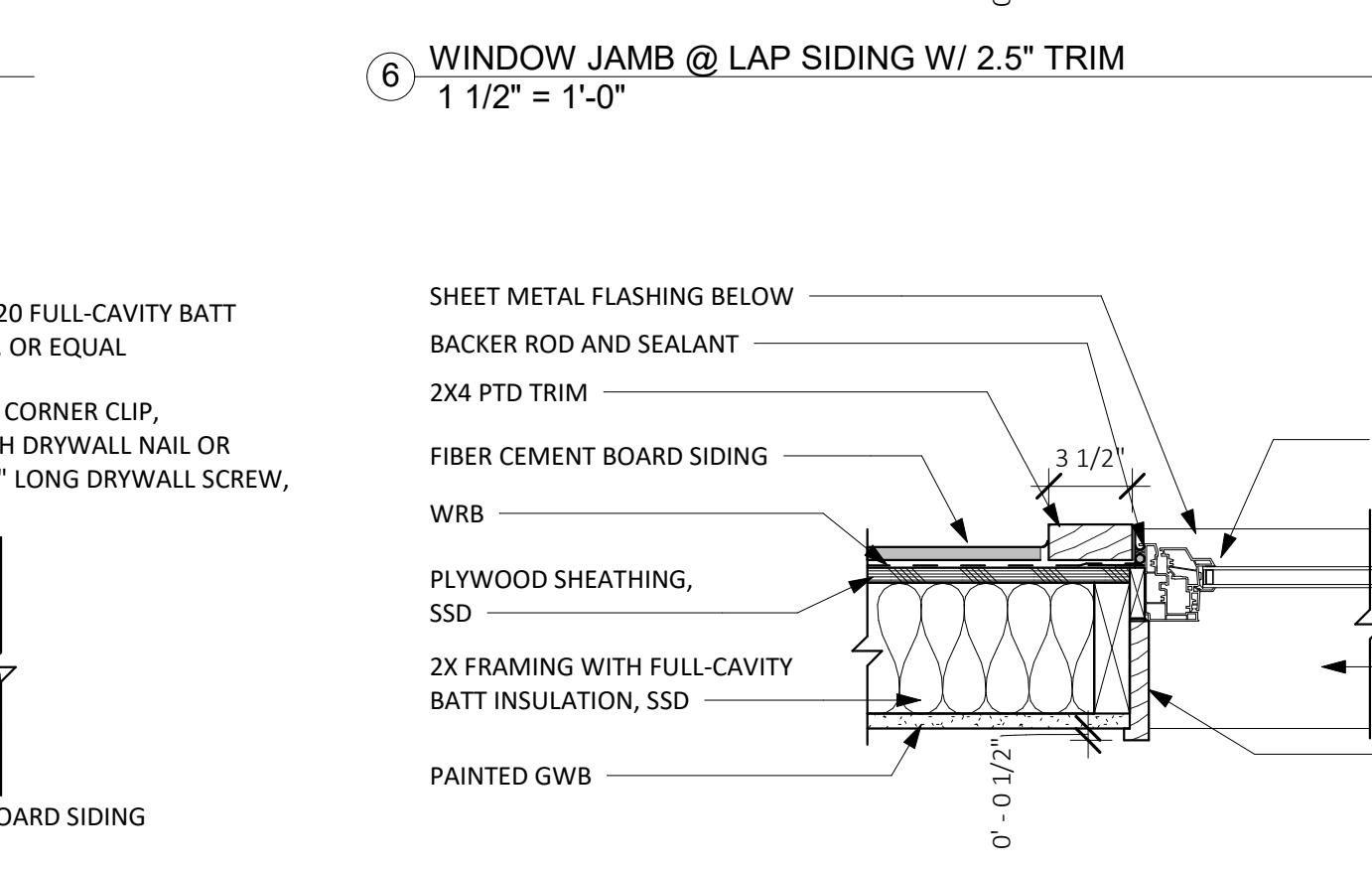
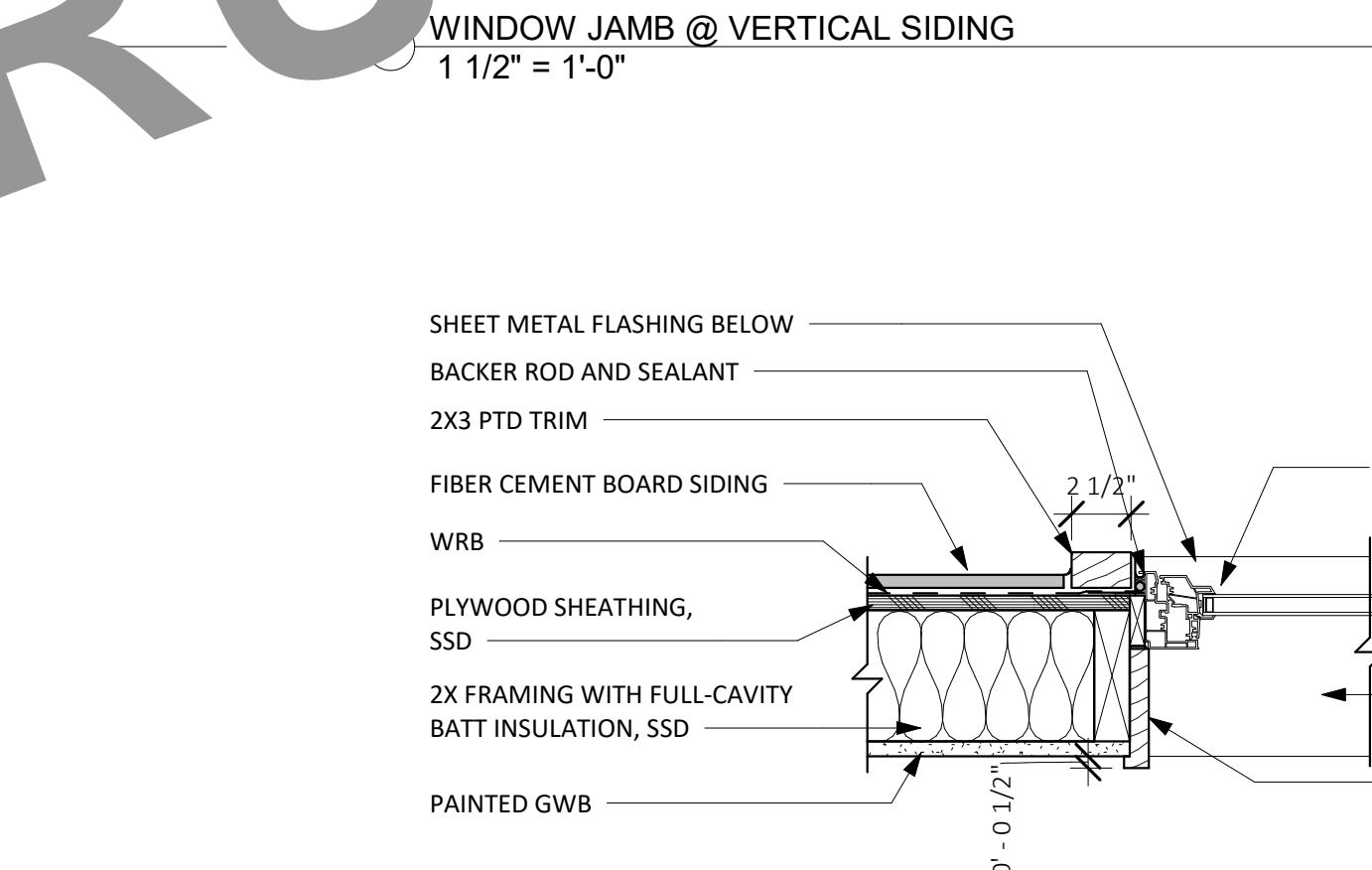
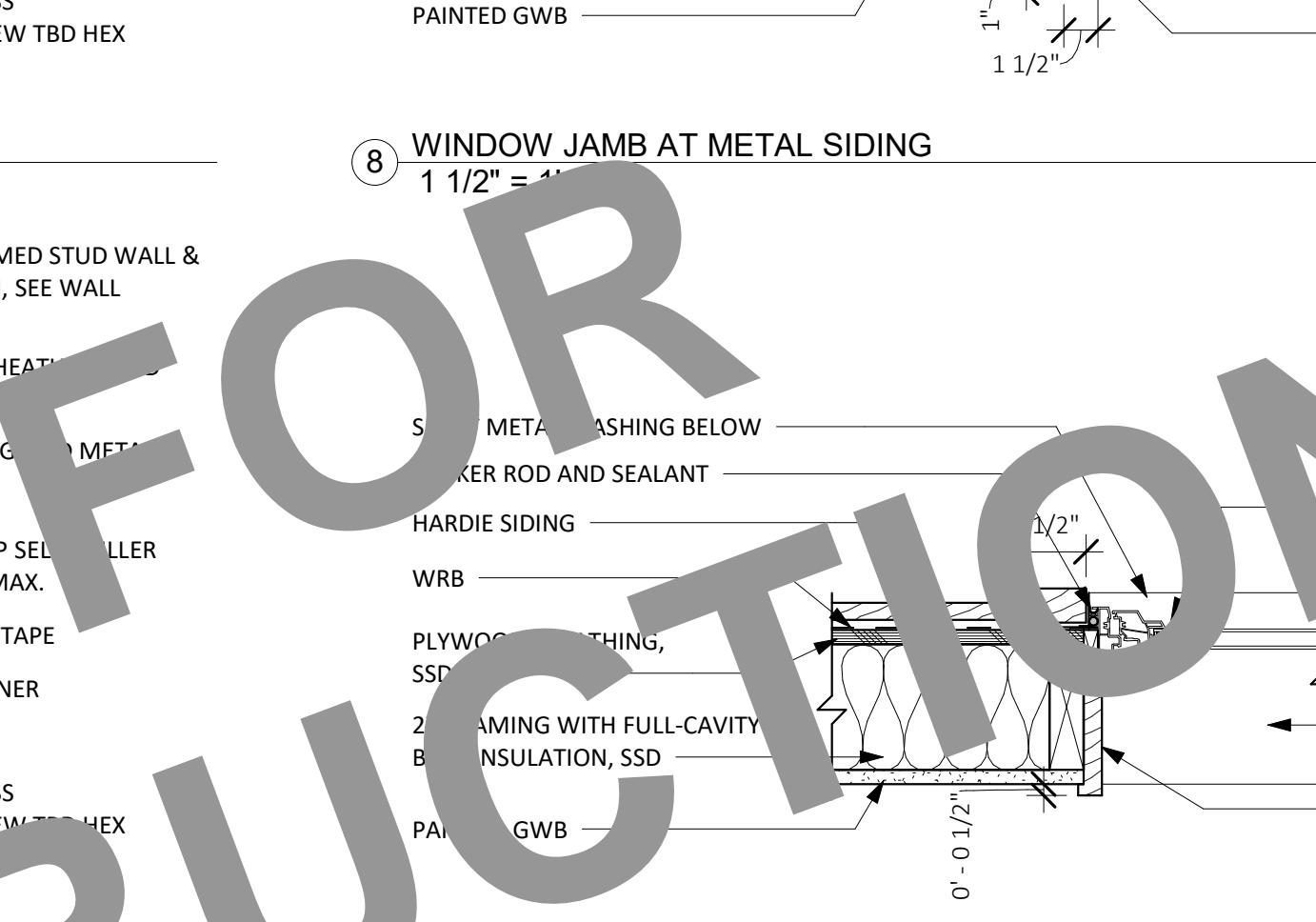
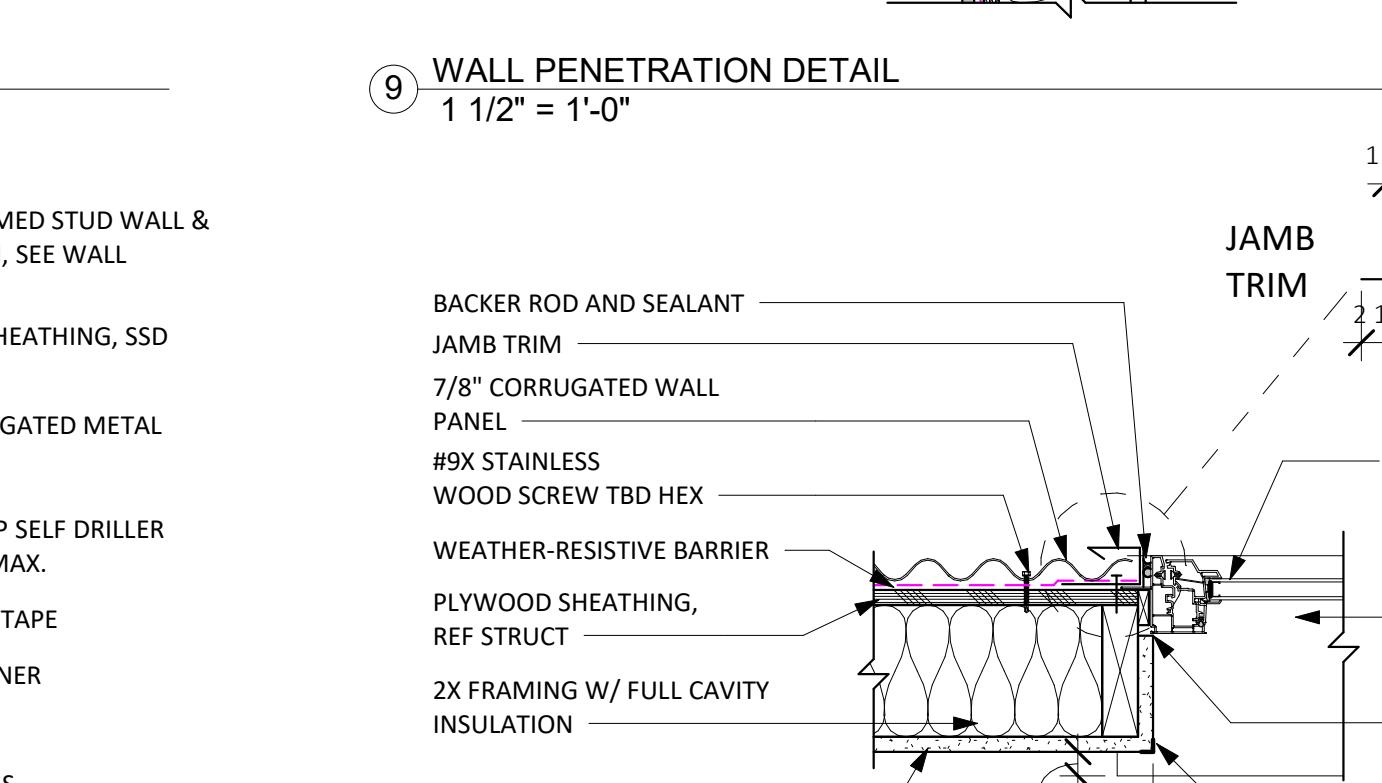
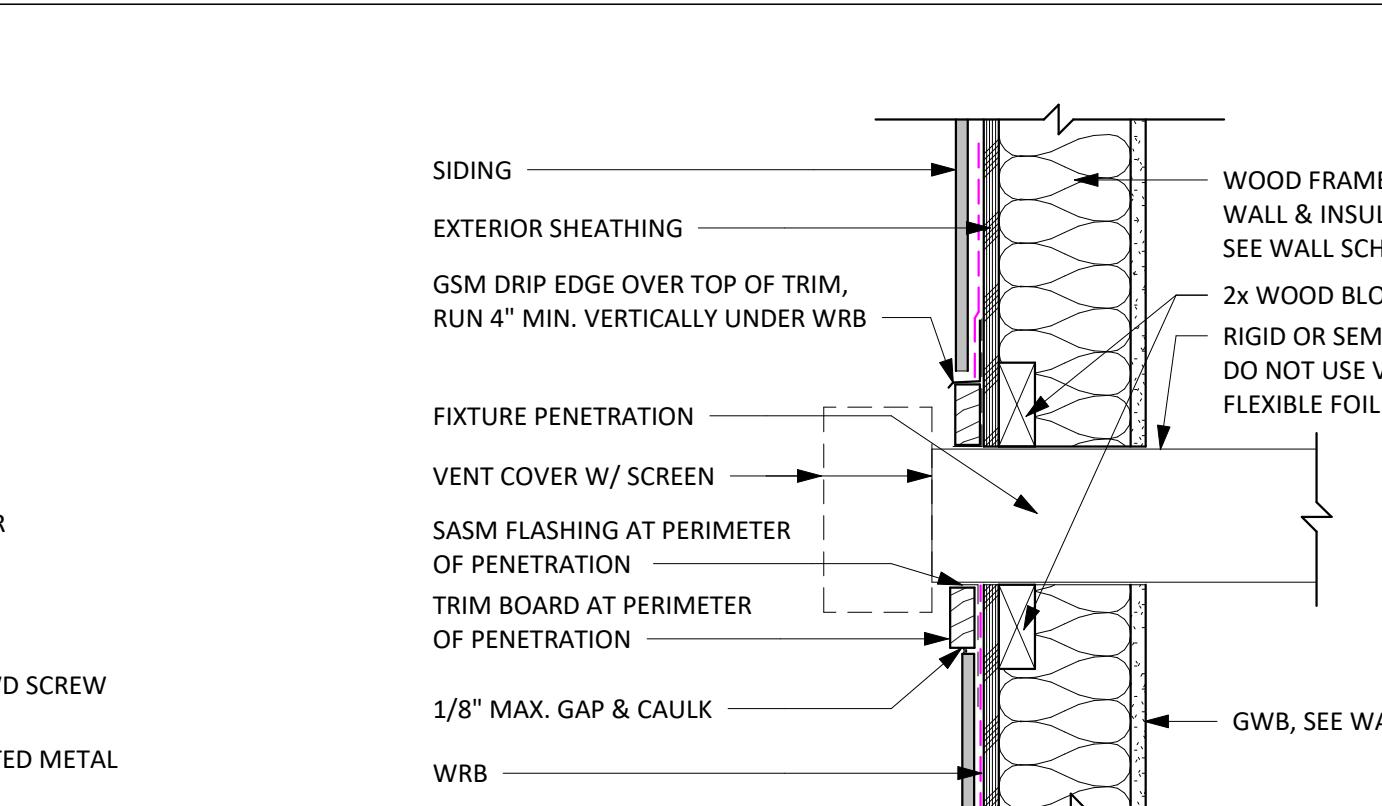
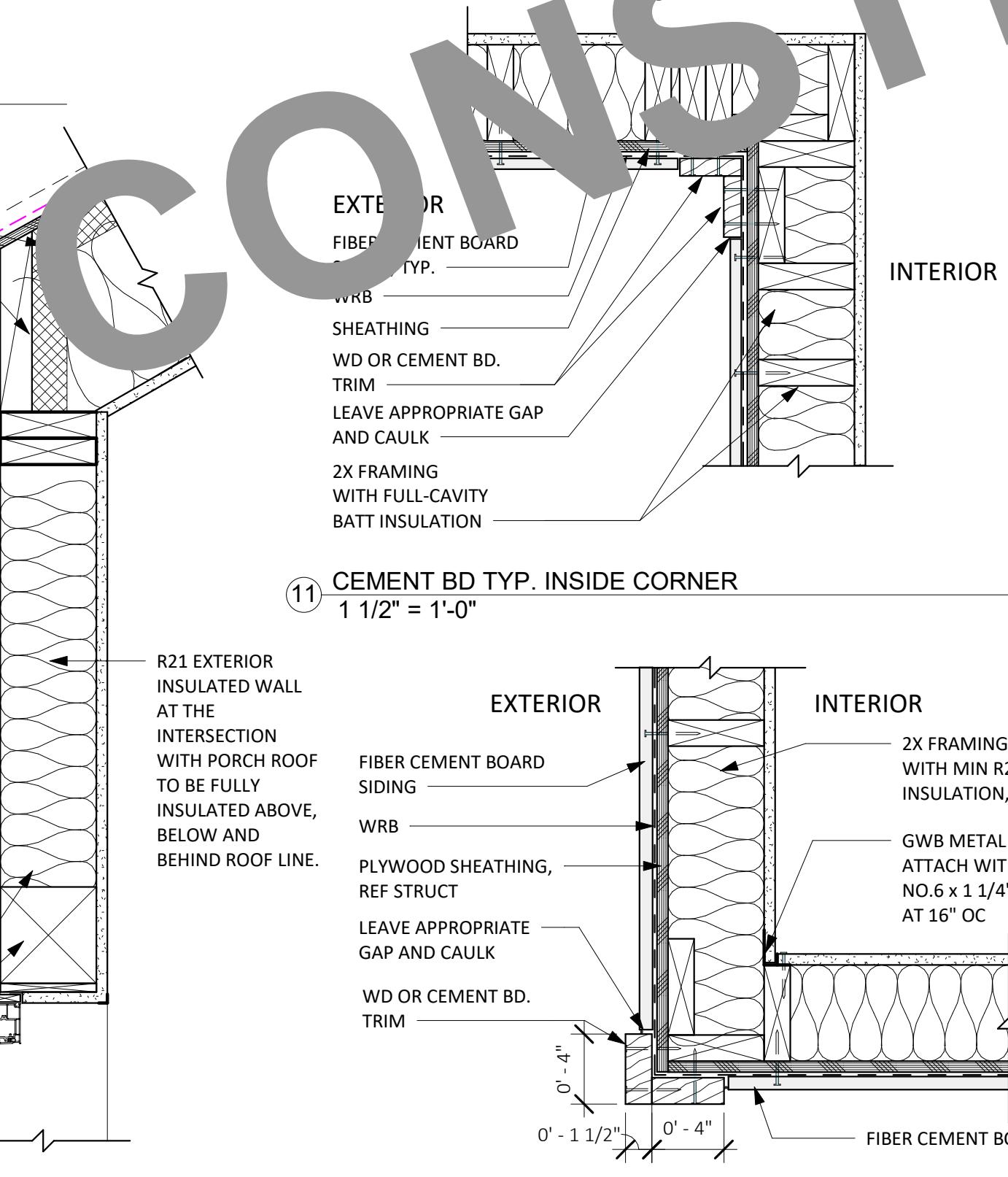
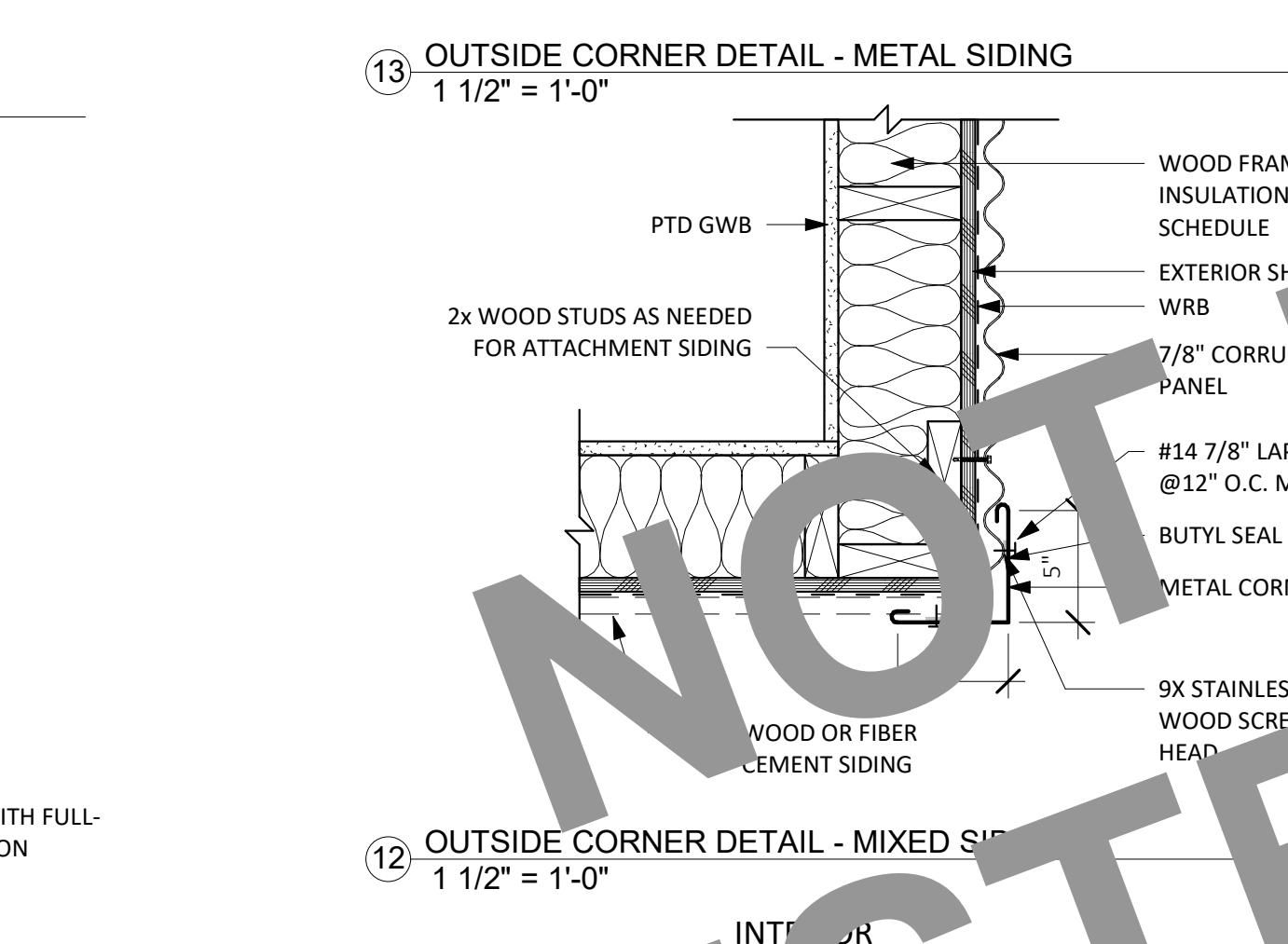
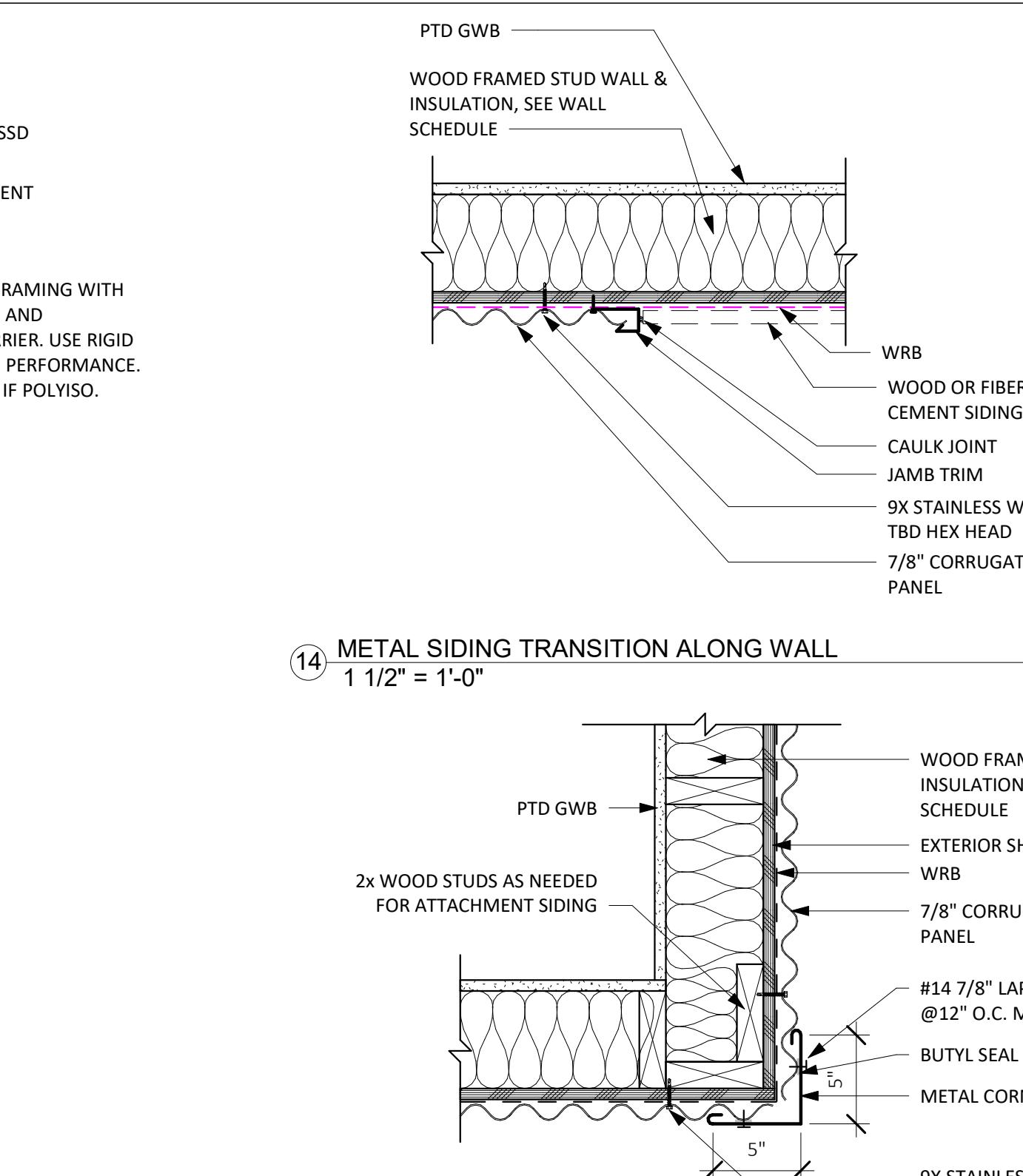
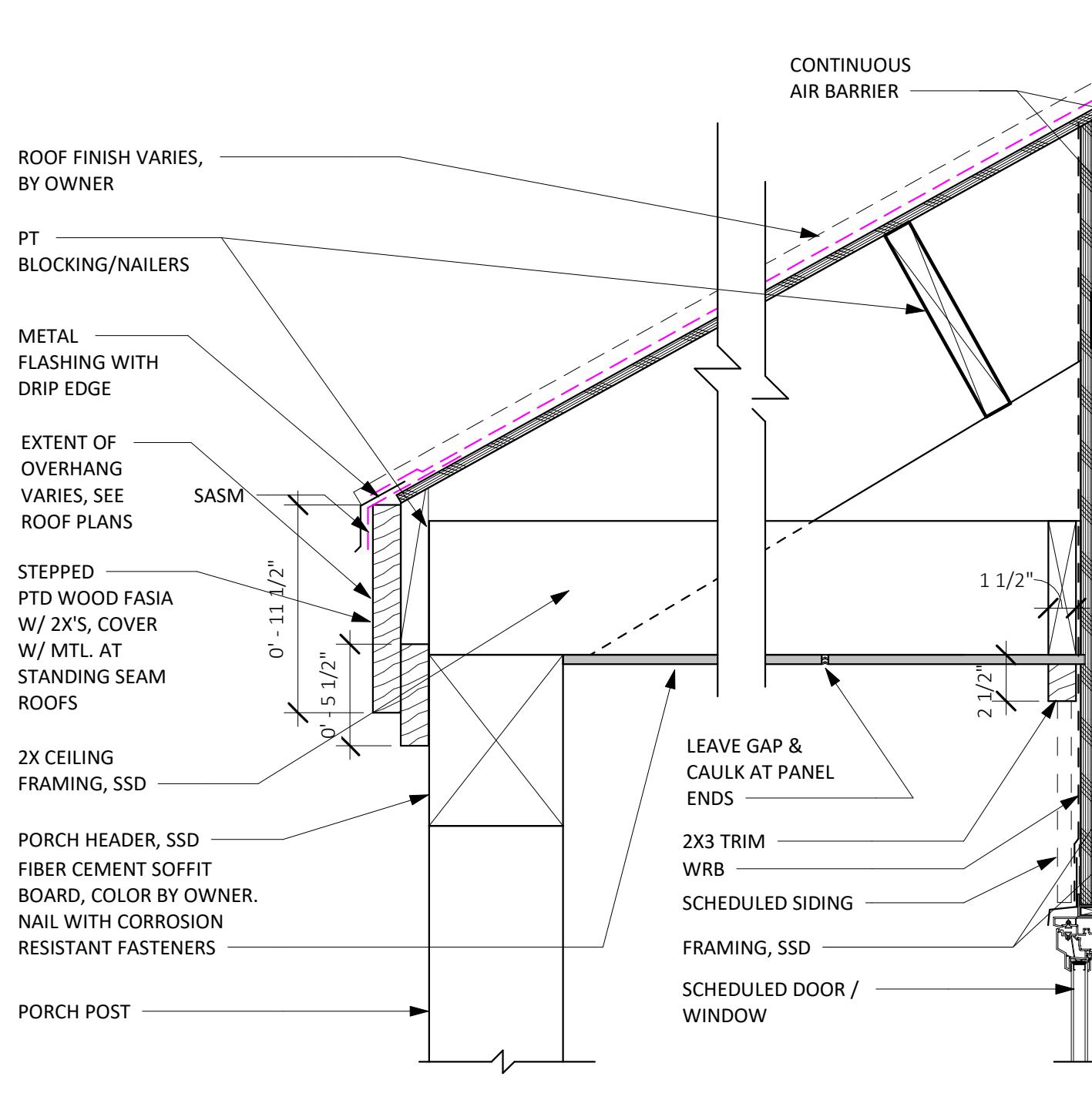
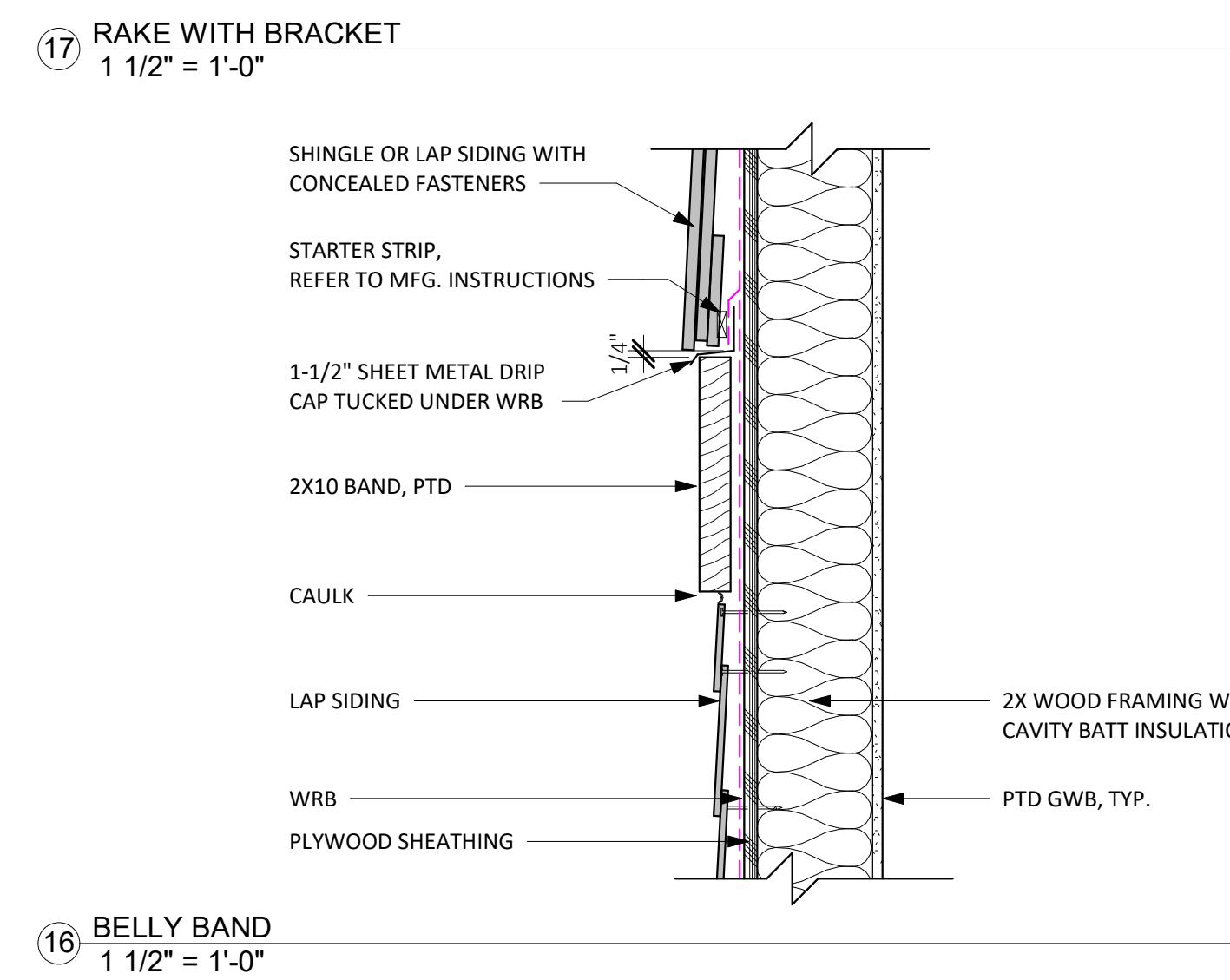
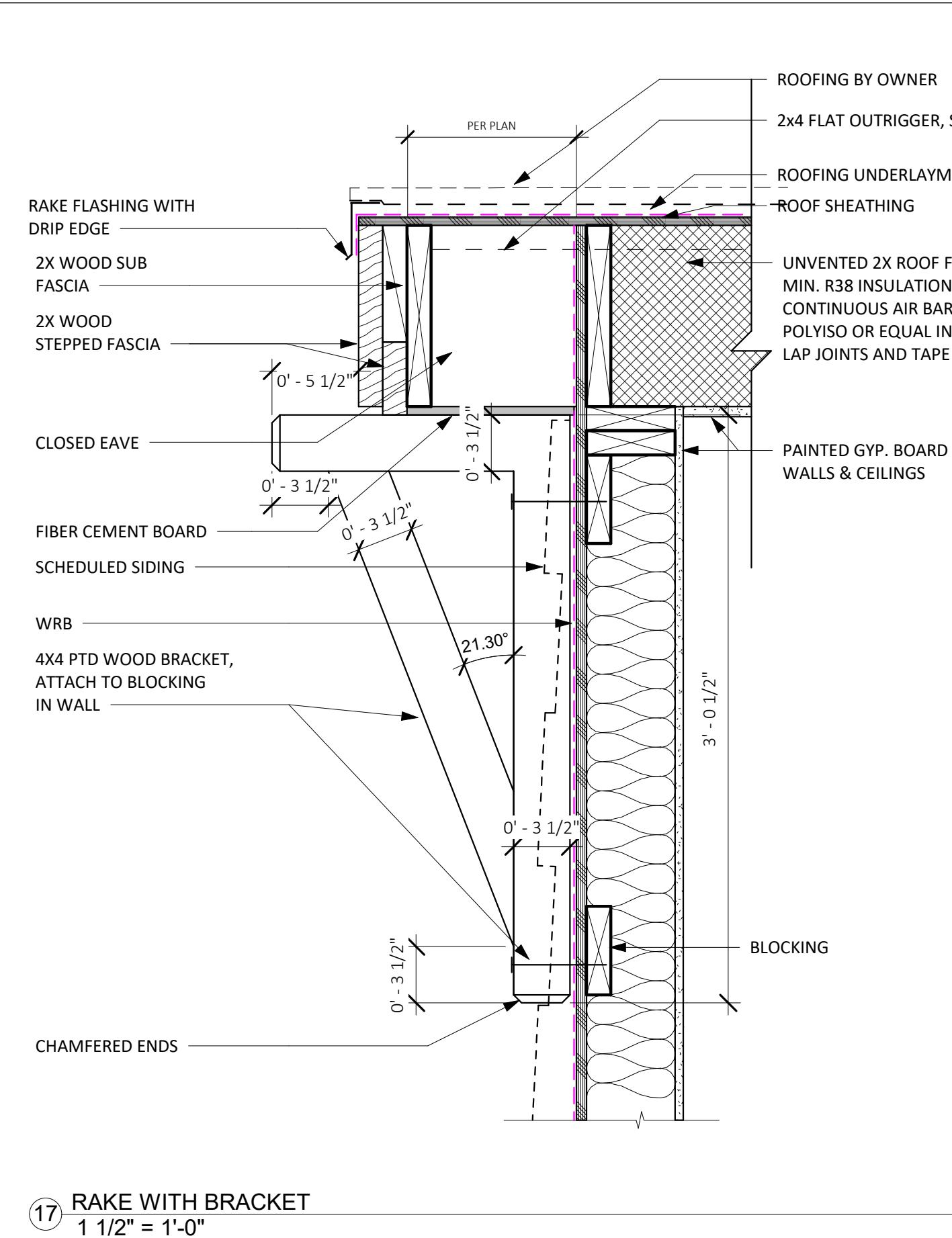


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EXTERIOR DETAILS

A5.2

SCALE : AS NOTED





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# PLUMAS COUNTY PRE-DESIGNED ADU

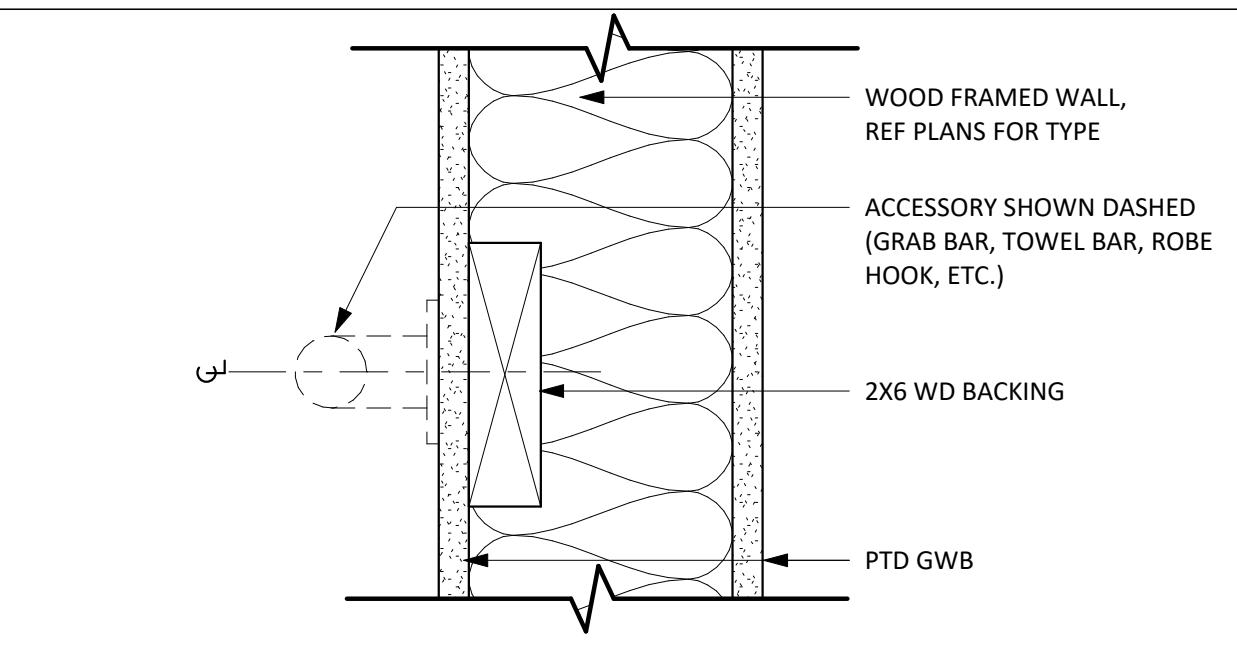
PLAN A-STARTER ONE BEDROOM ADU

705 GSF

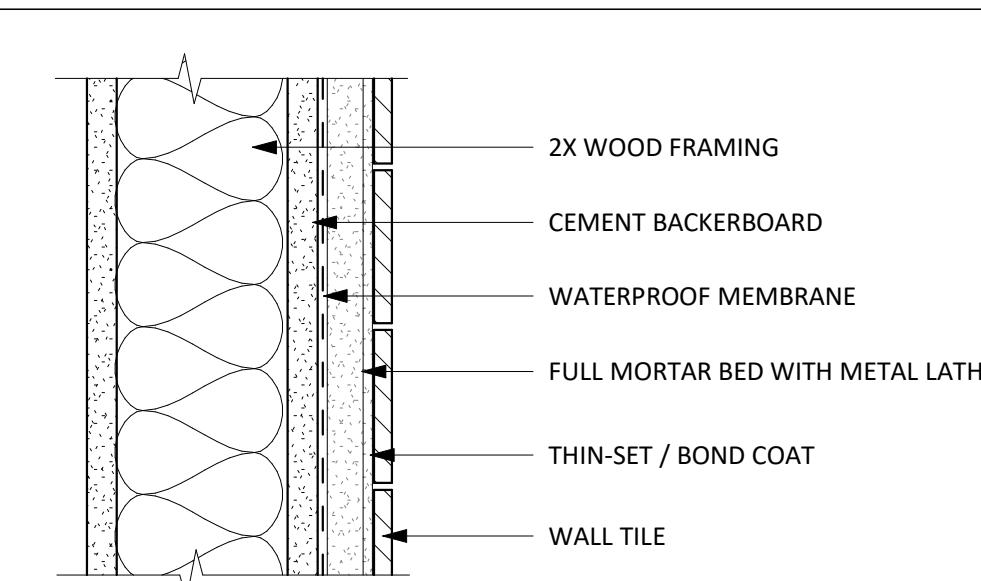
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INTERIOR DETAILS &  
WALL PARTITIONS

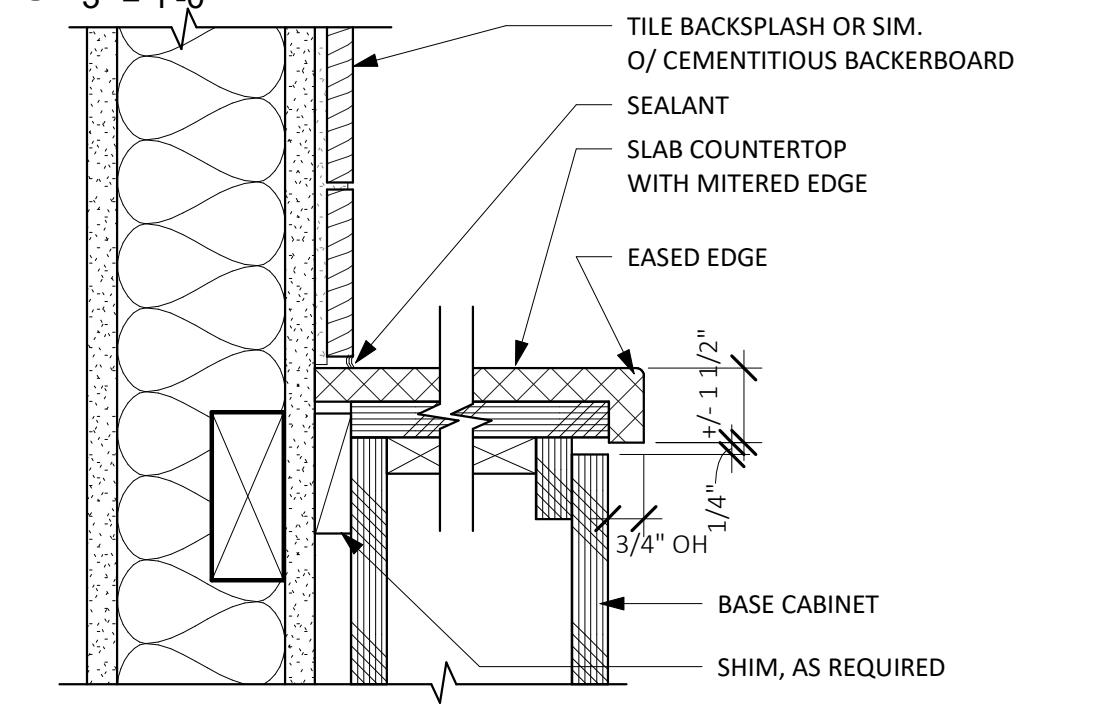
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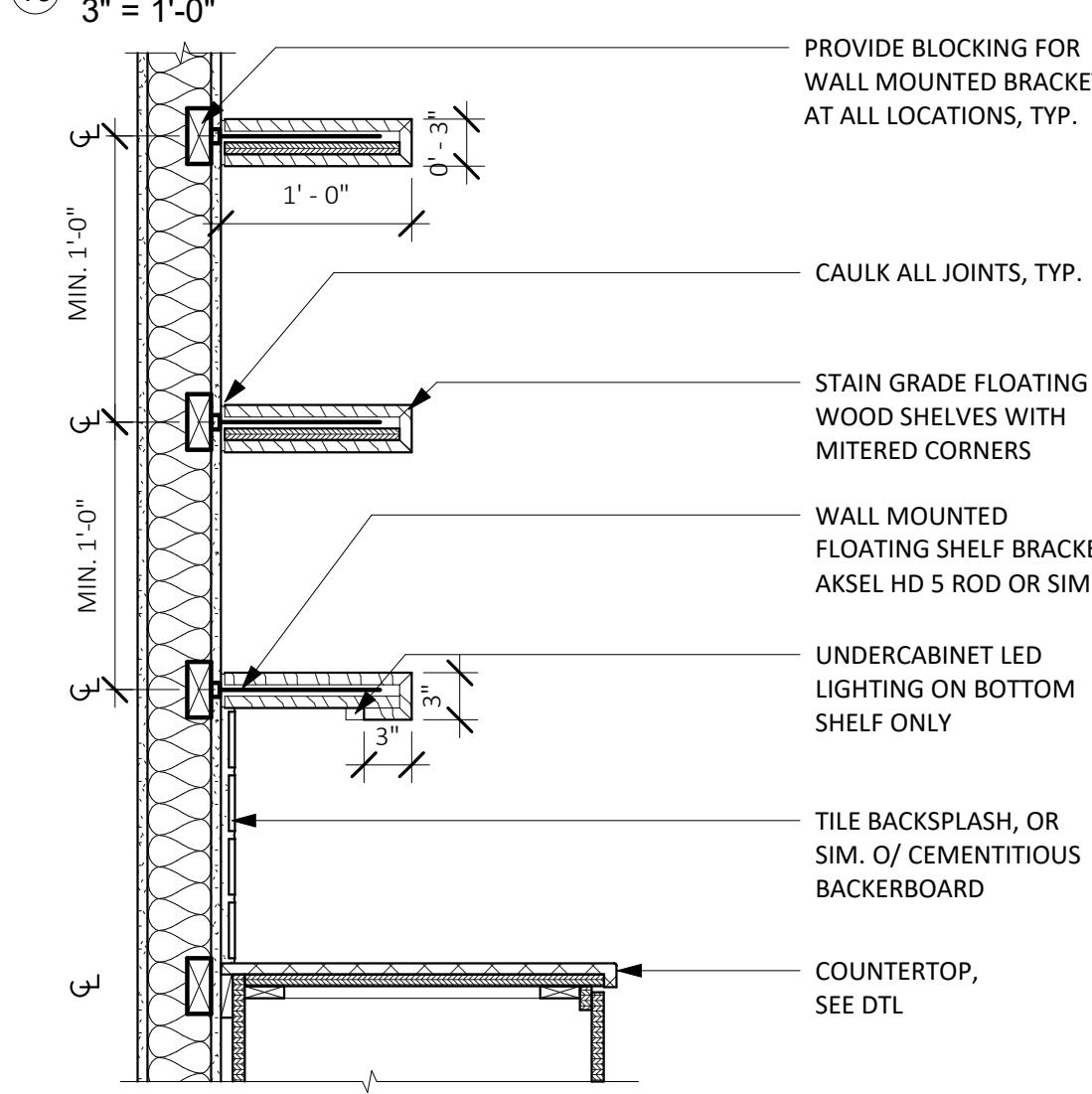
20 BLOCKING DETAIL  
3" = 1'-0"



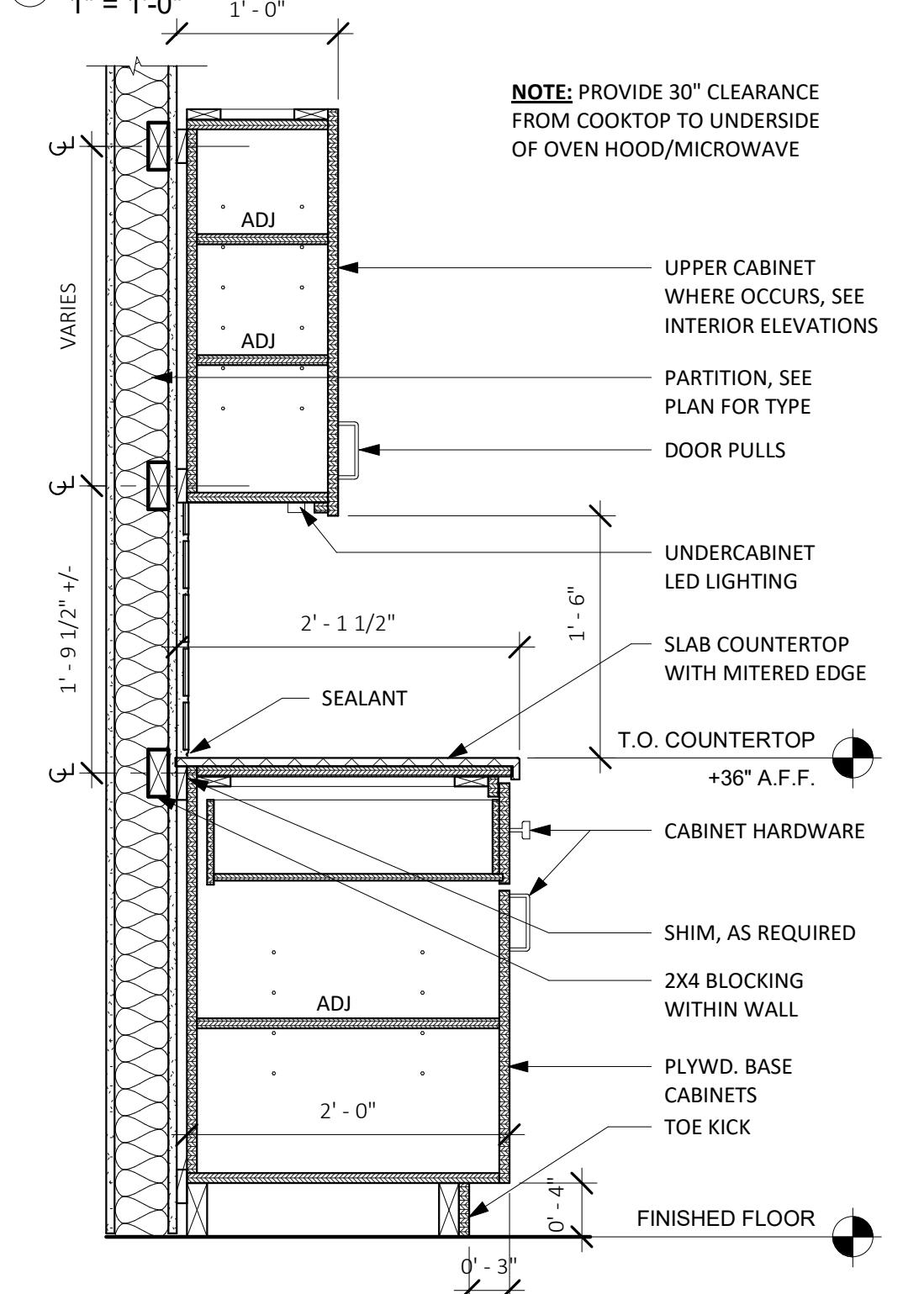
16 TYP. WALL TILE ASSEMBLY  
3" = 1'-0"



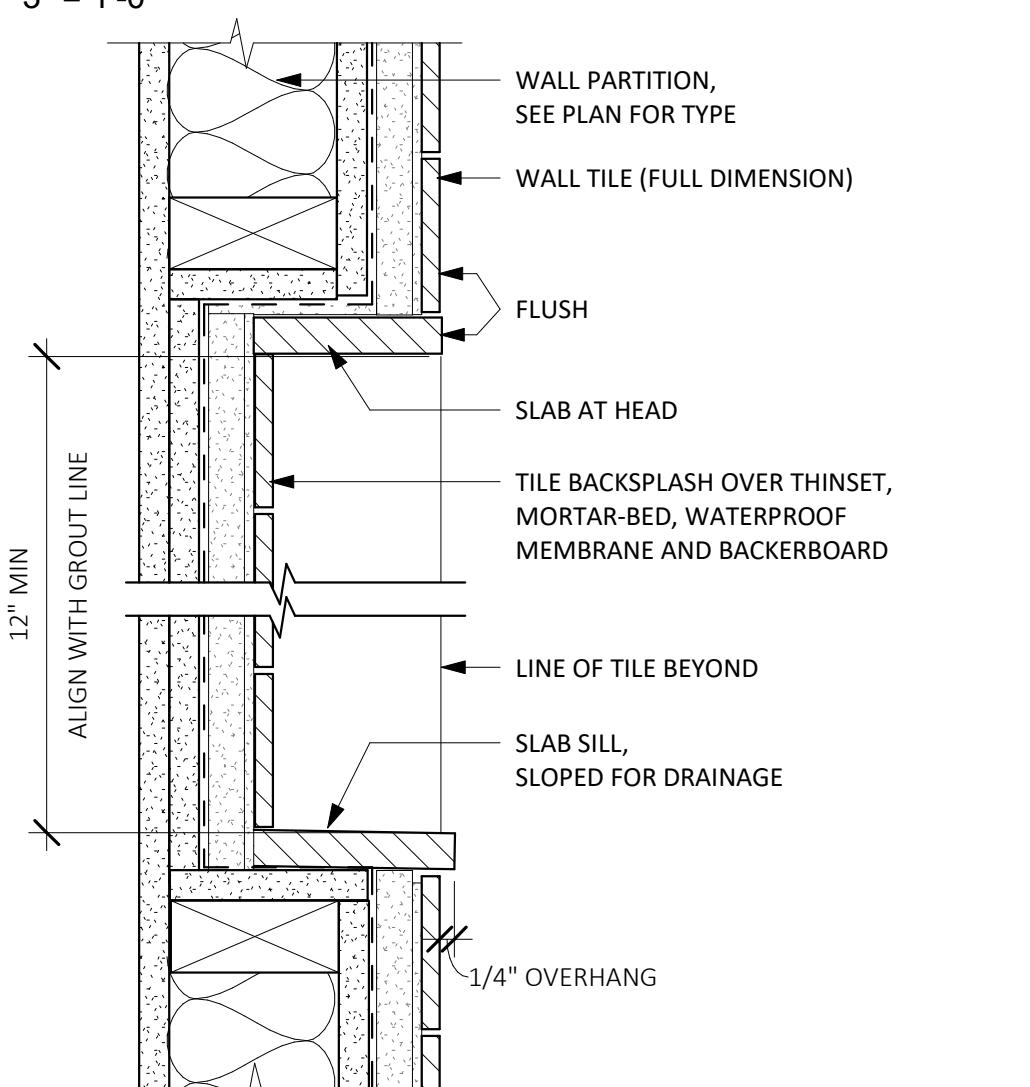
19 COUNTERTOP DETAIL  
3" = 1'-0"



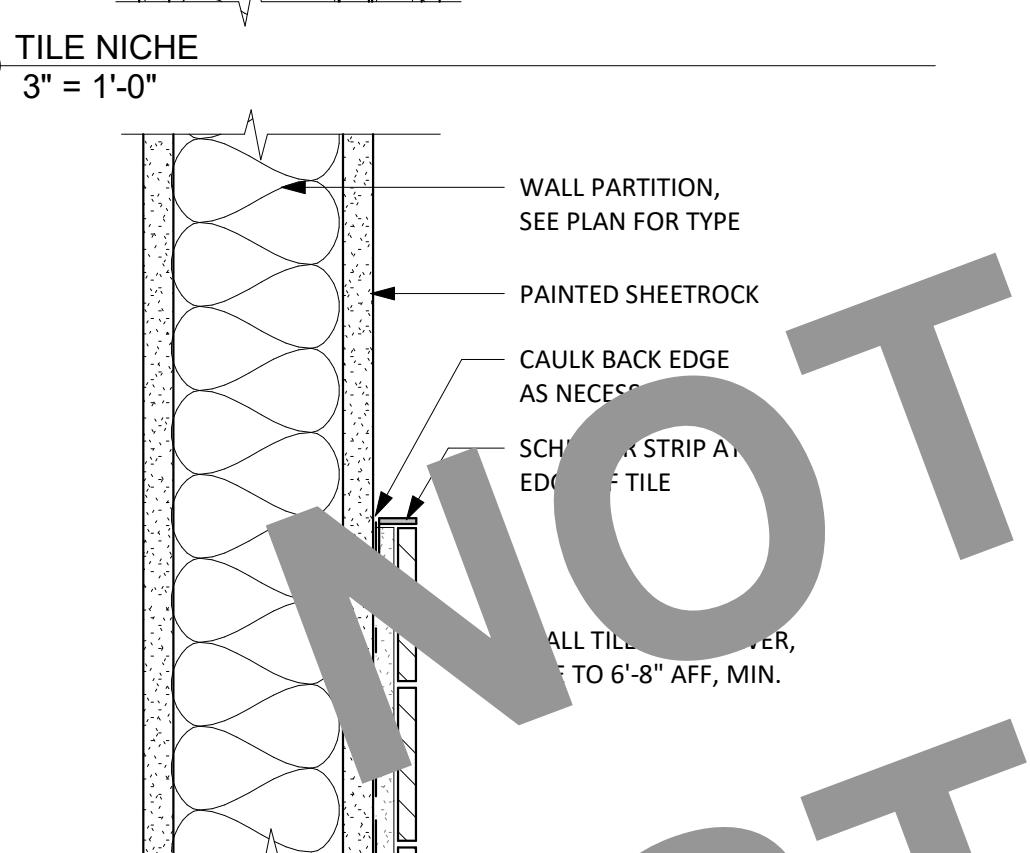
18 FLOATING WOOD SHELVES (OPTIONAL)  
1" = 1'-0"



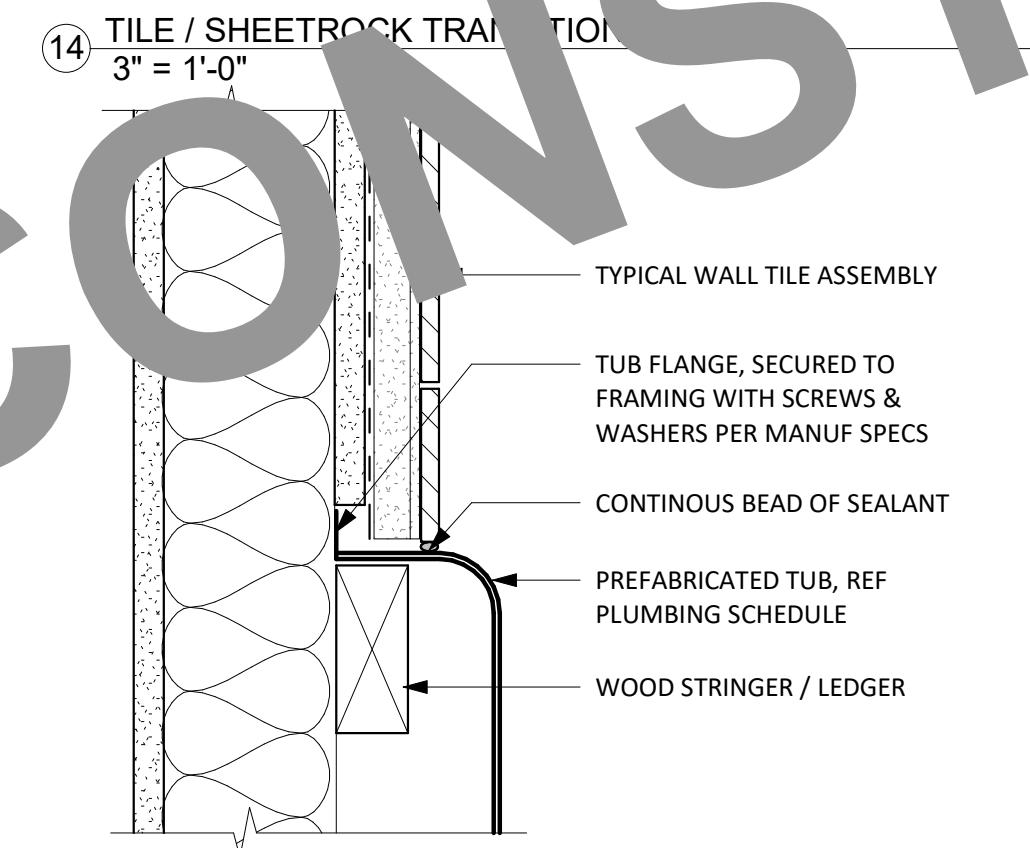
17 TYPICAL BASE CABINET WITH UPPER CABINET  
1" = 1'-0"



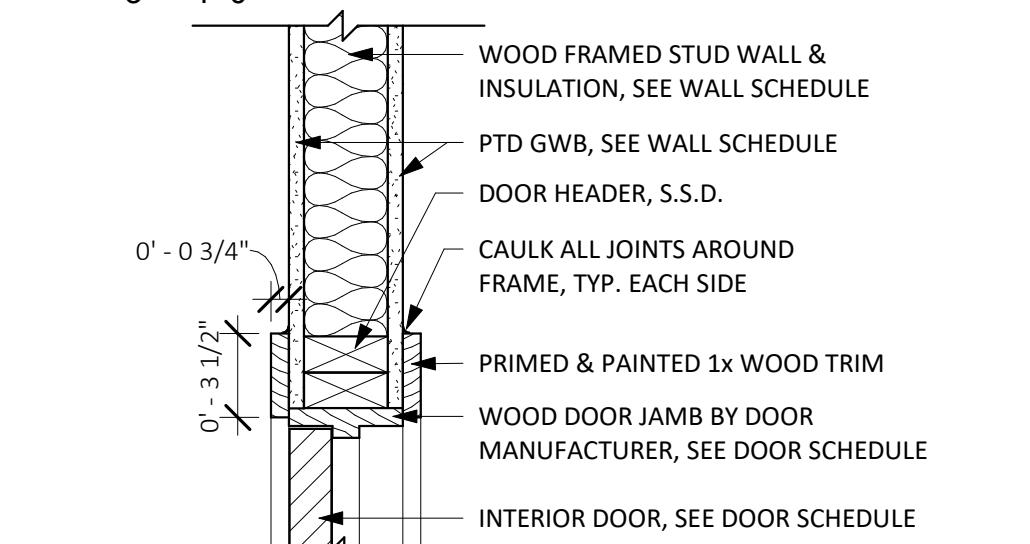
12 INTERIOR BYPASS DOOR HEAD  
1 1/2" = 1'-0"



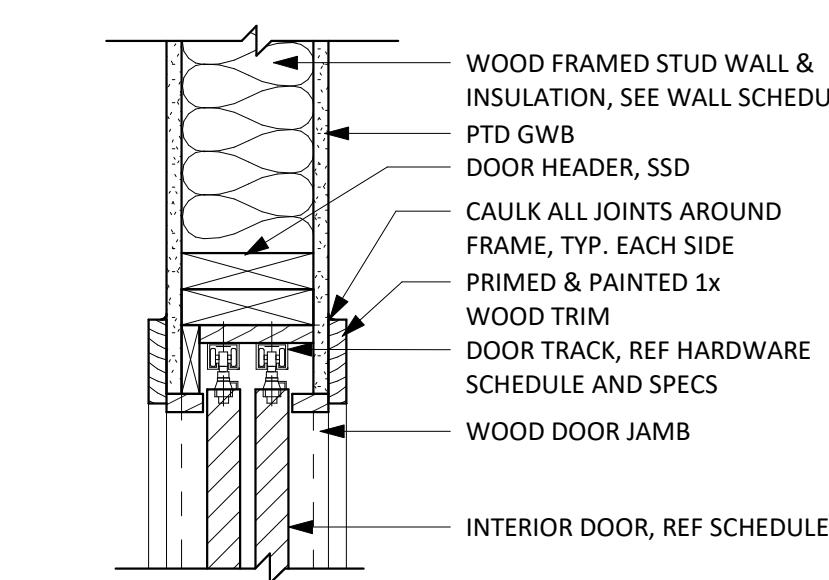
15 TILE NICHE  
3" = 1'-0"



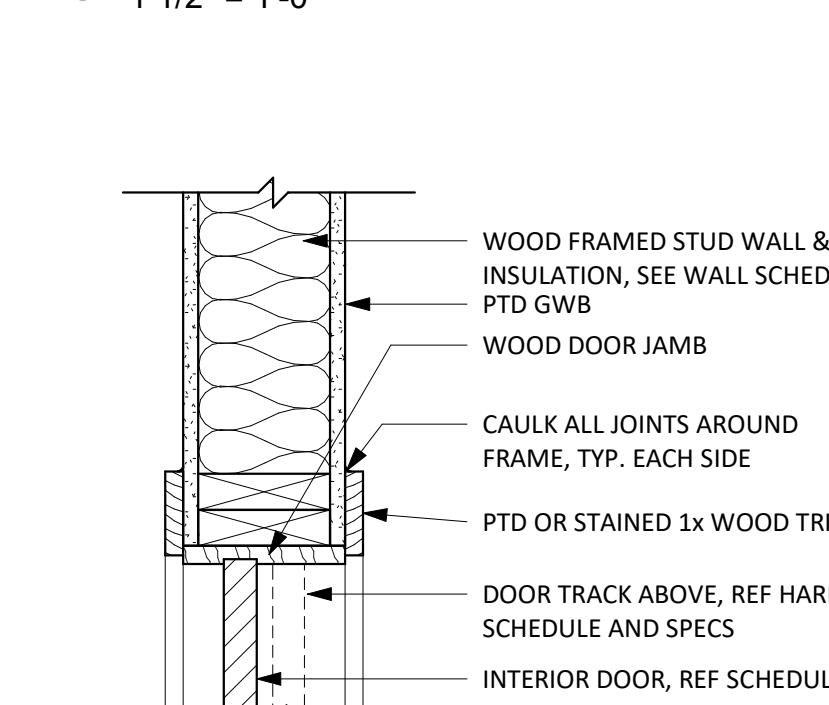
14 TILE / SHEETROCK TRANSITION  
3" = 1'-0"



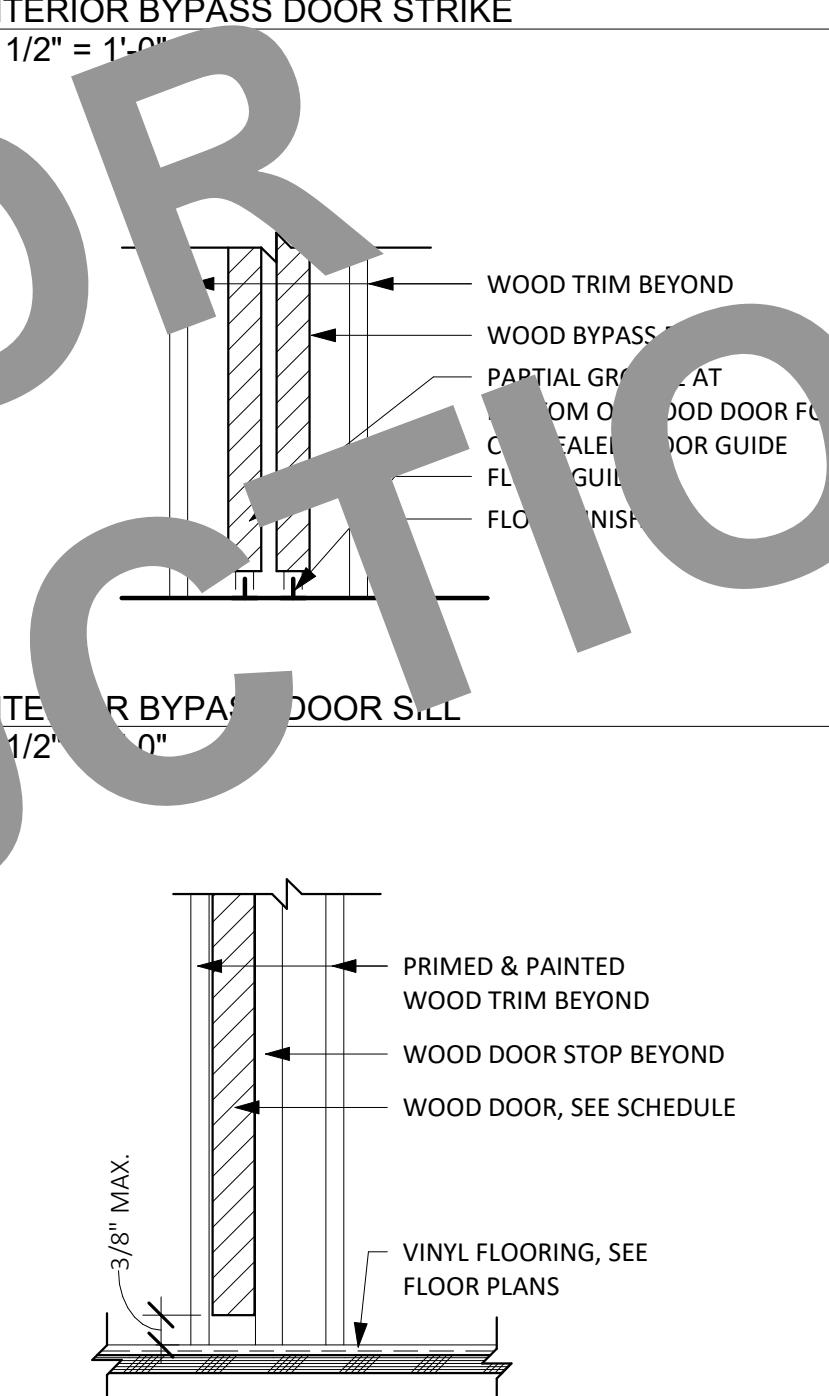
13 TILE AT TUB DECK  
3" = 1'-0"



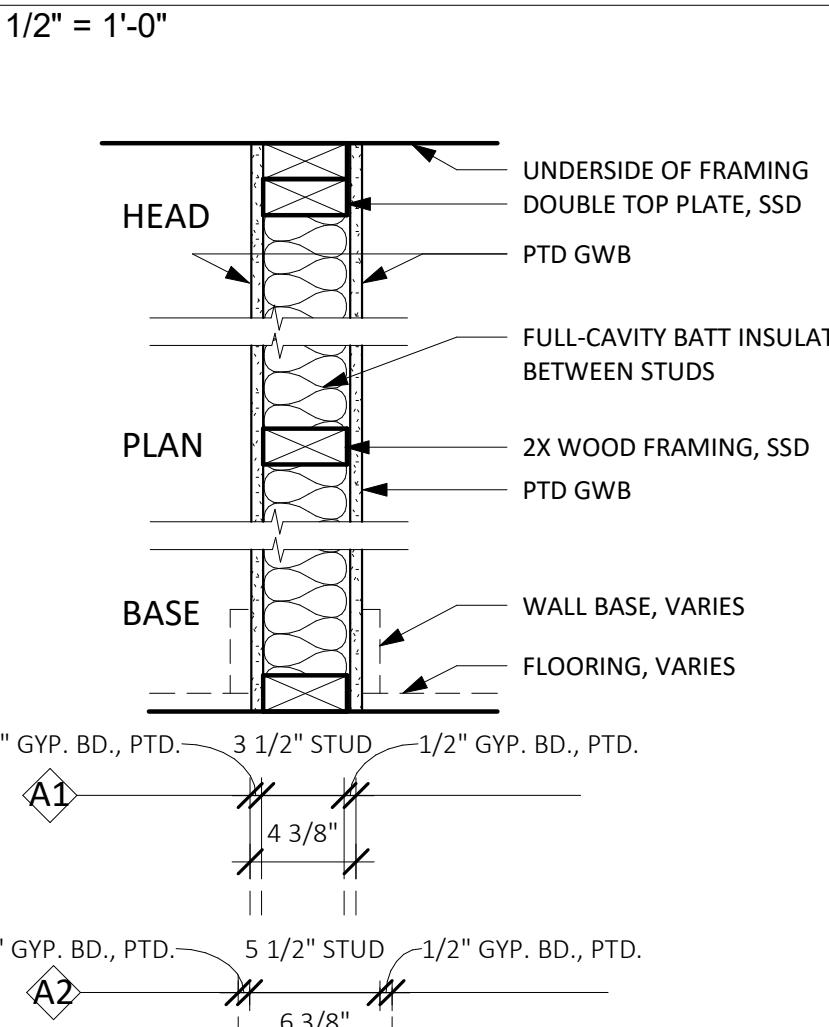
11 INTERIOR BYPASS DOOR STRIKE  
1 1/2" = 1'-0"



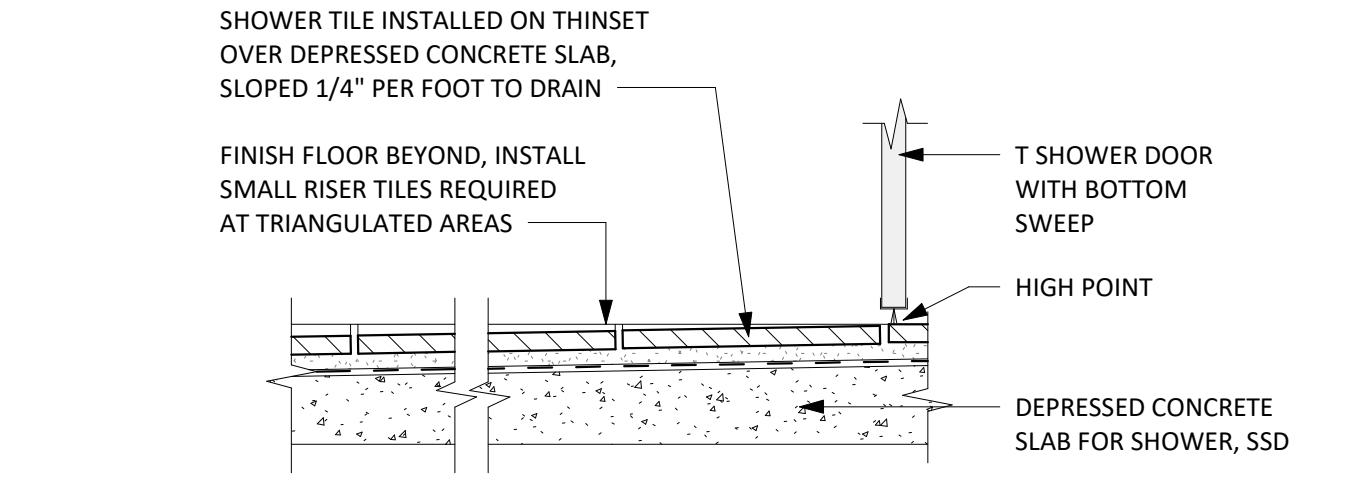
9 INTERIOR BYPASS DOOR SILL  
1 1/2" = 1'-0"



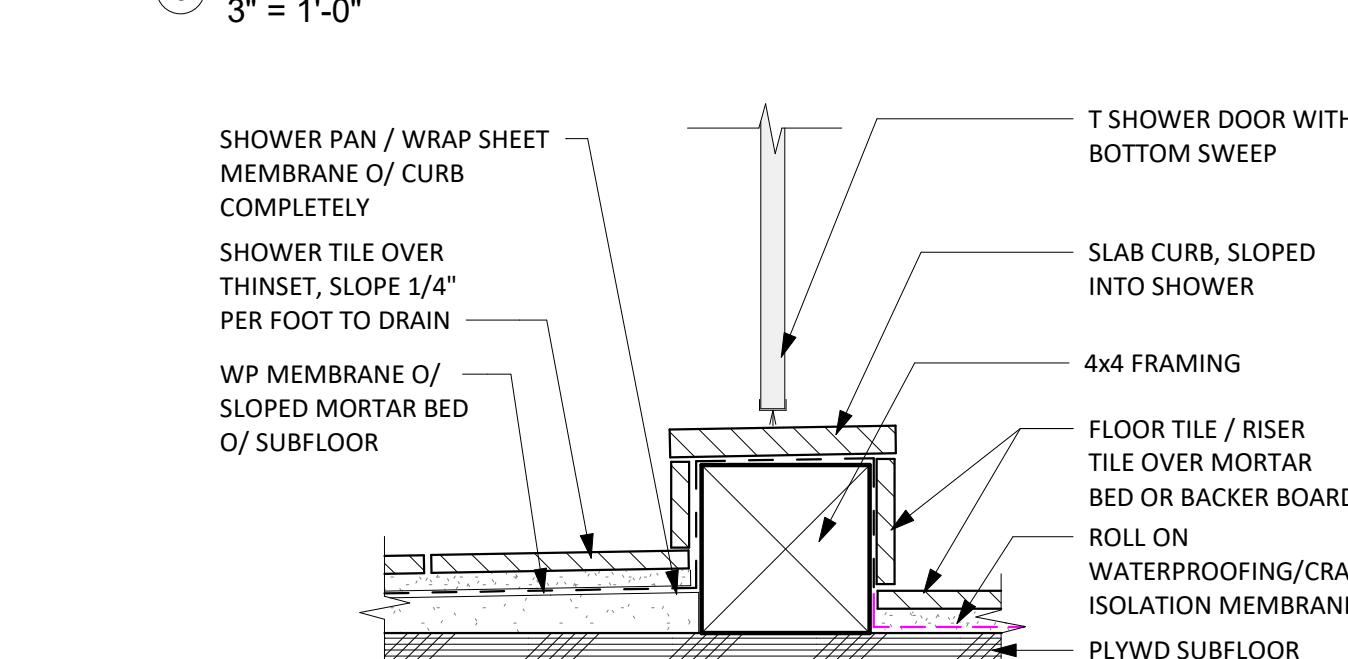
8 INTERIOR DOOR SILL  
1 1/2" = 1'-0"



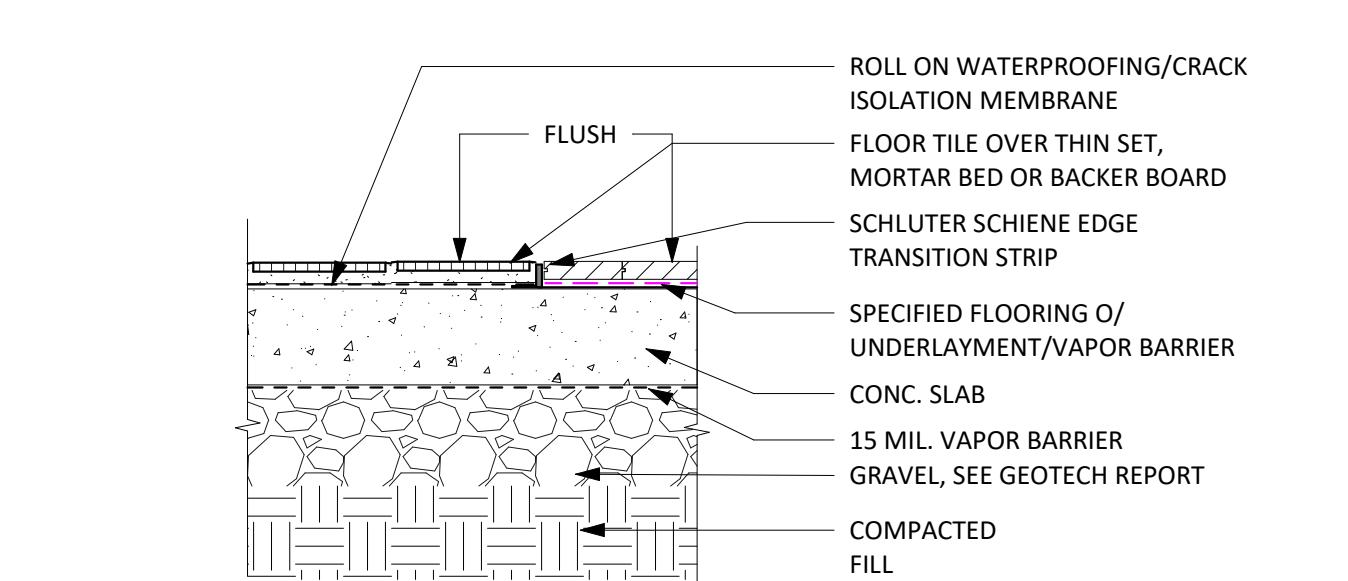
7 TYP. INTERIOR WALL PARTITION  
1 1/2" = 1'-0"



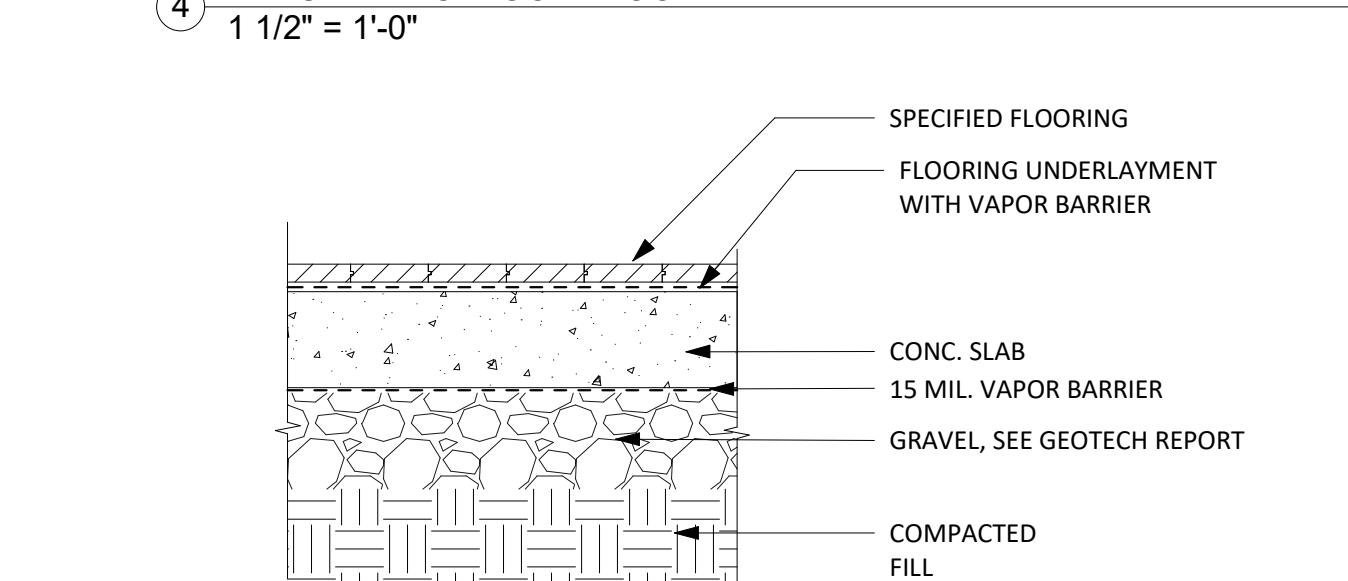
6 CURBLESS SHOWER DOOR AT SLAB (OPTIONAL)  
3" = 1'-0"



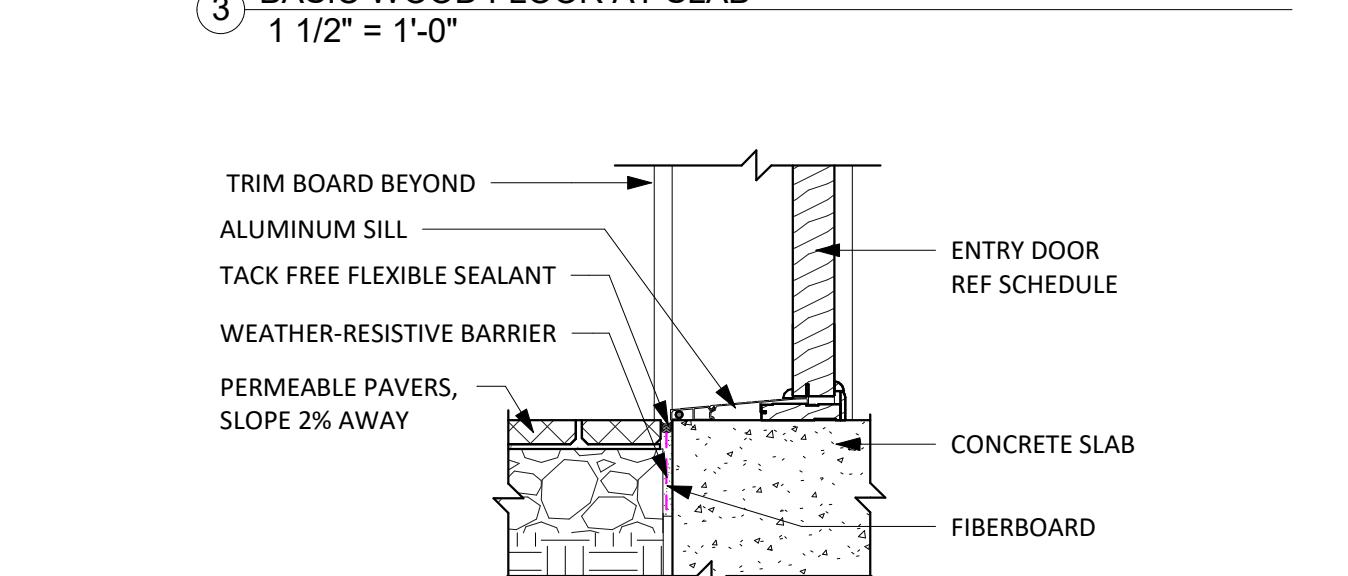
5 TYP. SHOWER CURB  
3" = 1'-0"



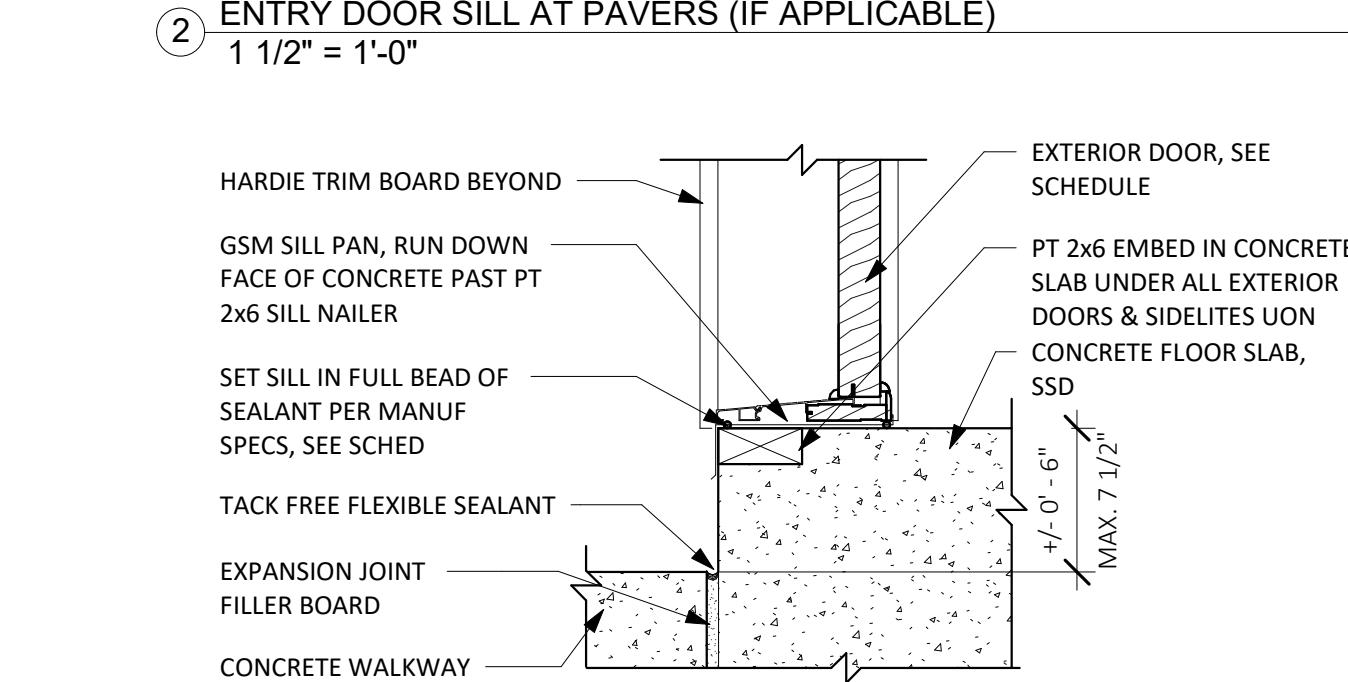
4 BASIC TILE TO WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



3 BASIC WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



2 ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)  
1 1/2" = 1'-0"



1 ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)  
1 1/2" = 1'-0"



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PLUMAS COUNTY  
PRE-DESIGNED ADU  
PLAN D - THREE BEDROOM ADU  
1200 GSF

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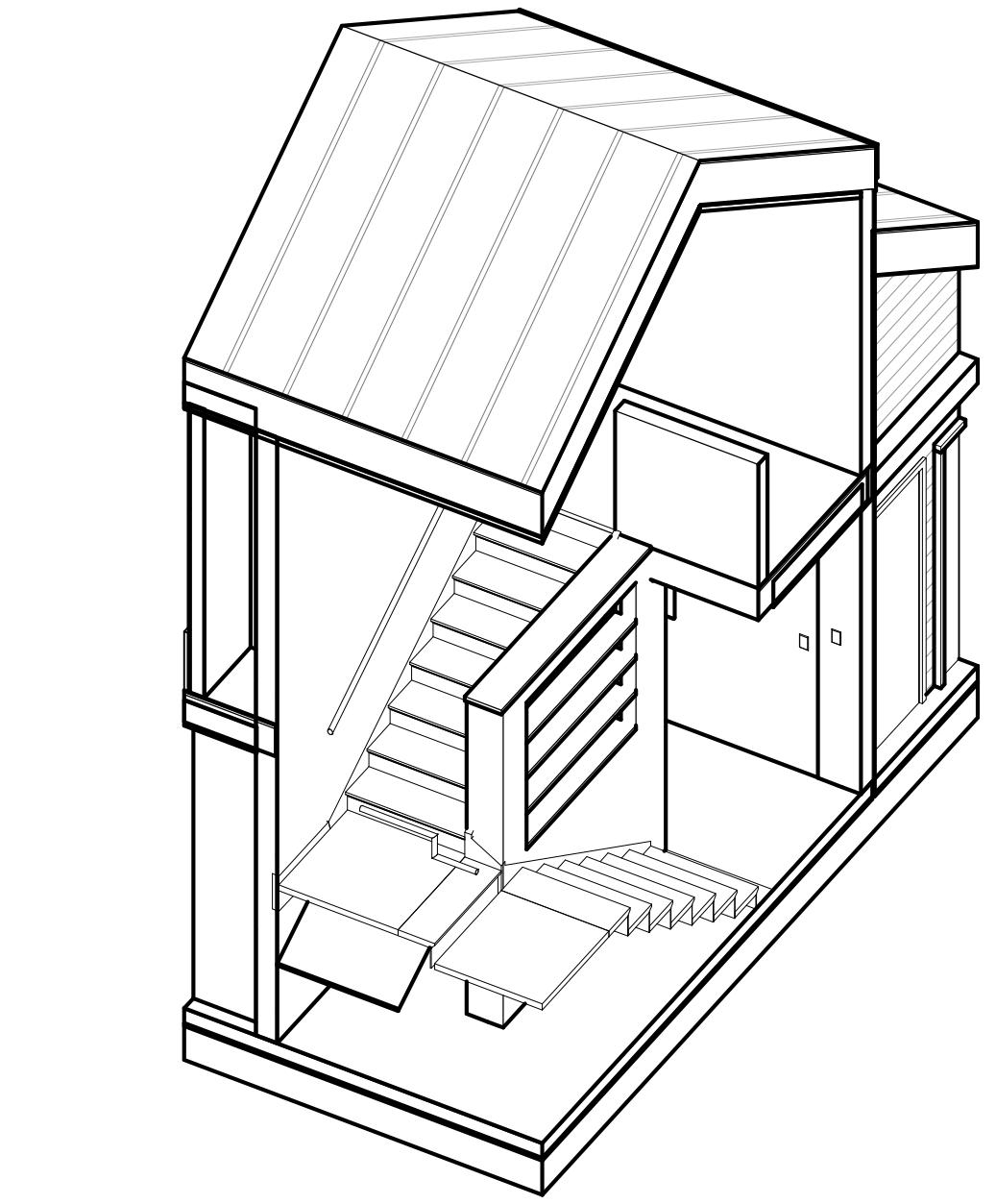
STAIR SECTIONS AND  
DETAILS

A5.4

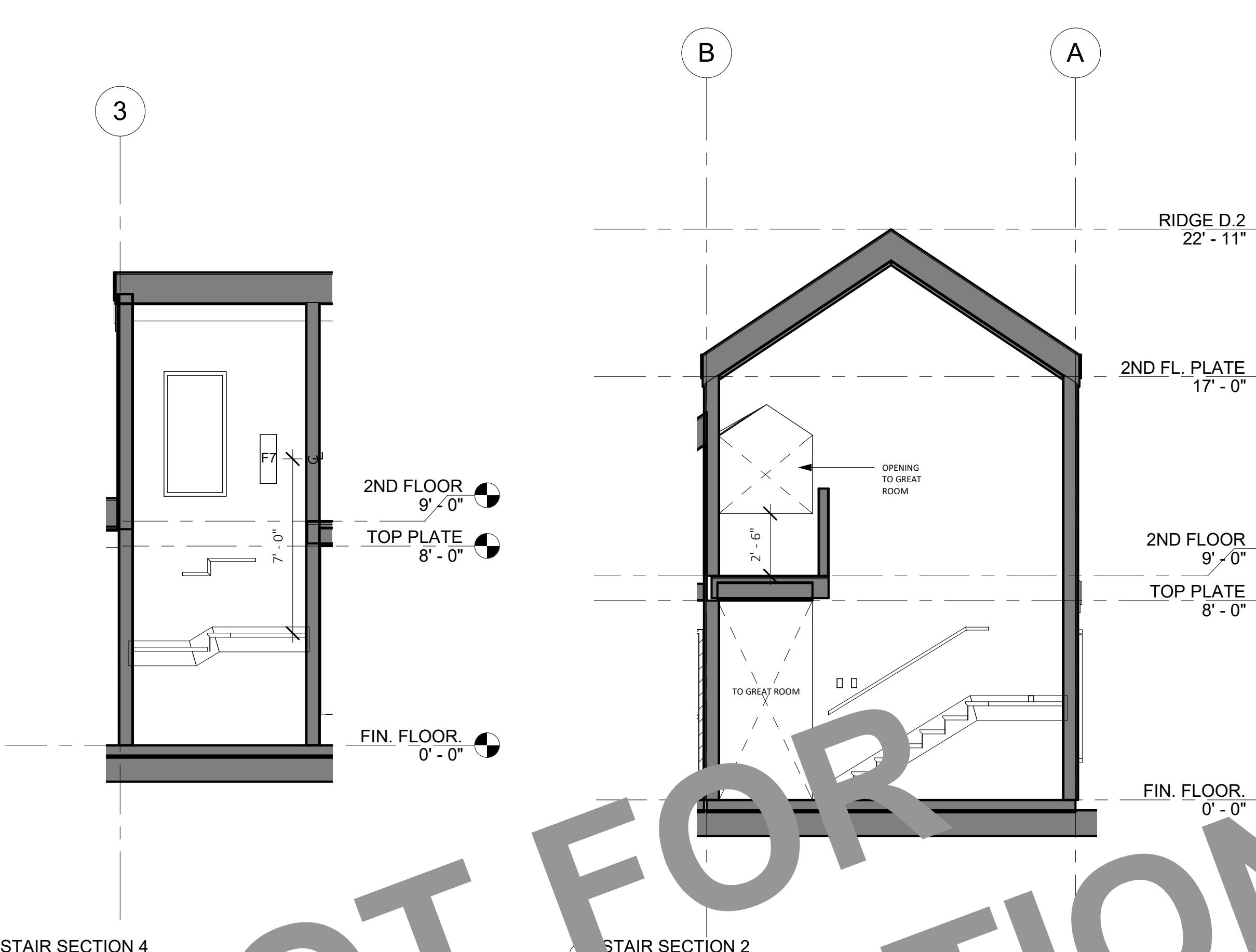
SCALE : AS NOTED

## STAIRS GENERAL NOTES

1. MIN. CLR. WIDTH OF 36"
2. STAIR RISERS NOT TO EXCEED A RISE OF 7 3/4".
3. STAIR RISERS NOT TO EXCEED A MAX. 3/8" DIFFERENCE BETWEEN EACH RISER.
4. STAIR TREADS SHALL NOT BE LESS THAN 10" DEEP & 3/4" NOSING; OR MIN. 10 3/4" AND HAVE A MAX. SLOPE OF 1:48 (2%).
5. MIN. HEAD ROOM OF 6'-8".
6. USABLE SPACE UNDER STAIRS SHALL BE FINISHED WITH TYPE "X" FIRE RATED GYP. BOARD ON WALLS AND UNDERSIDE OF STAIR STRINGERS.
7. HANDRAIL ON AT LEAST ONE SIDE OF STAIR SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT.
8. HANDRAIL MUST RETURN TO WALL AT ENDS.
9. DESIGN GUARDRAILS AND HANDRAILS TO RESIST A 200 LB. CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP (CRC TABLE 301.5). REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4-INCHES IN DIAMETER (CRC 312.1.3.).

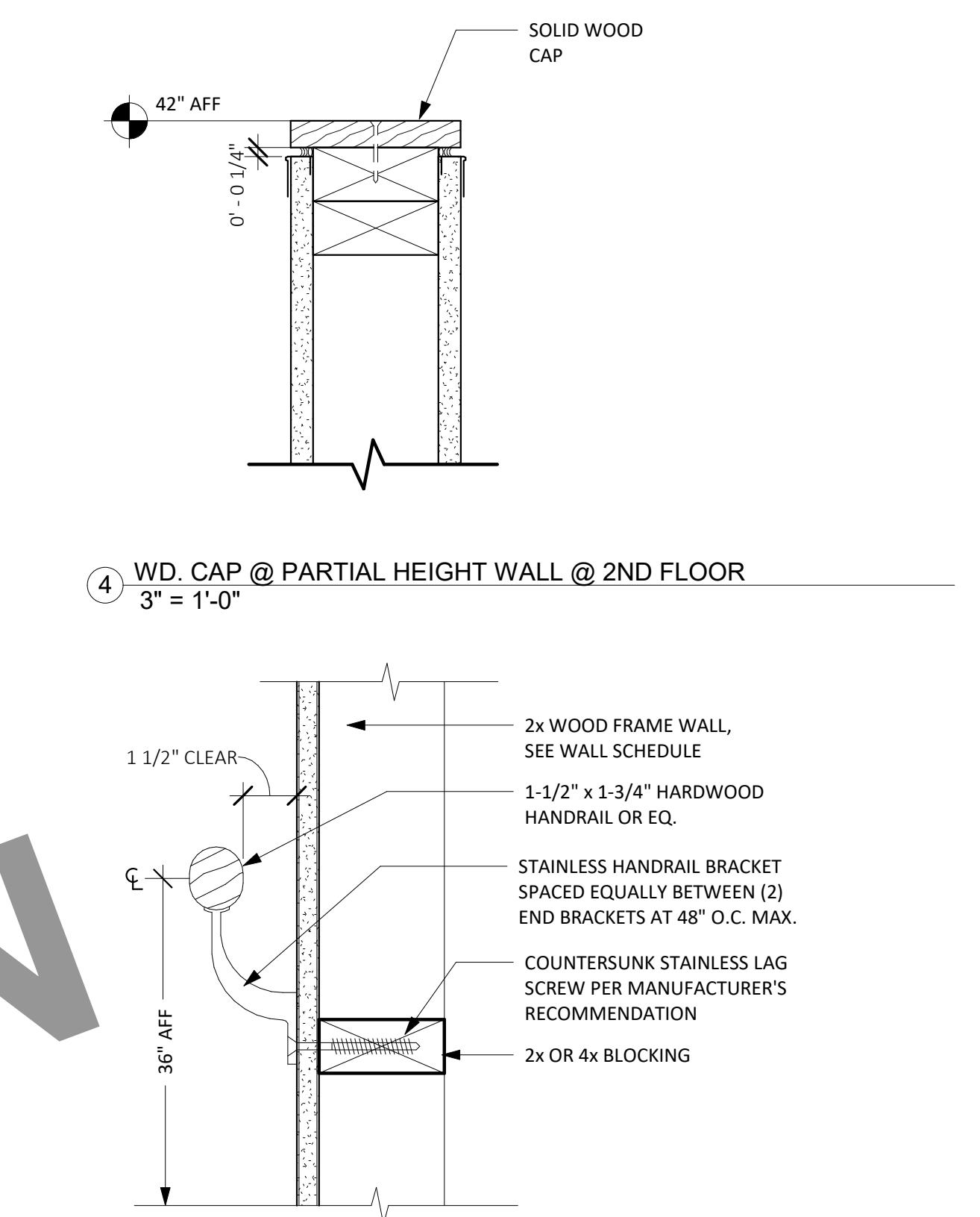


⑩ STAIR ORTHOGRAPHIC VIEW

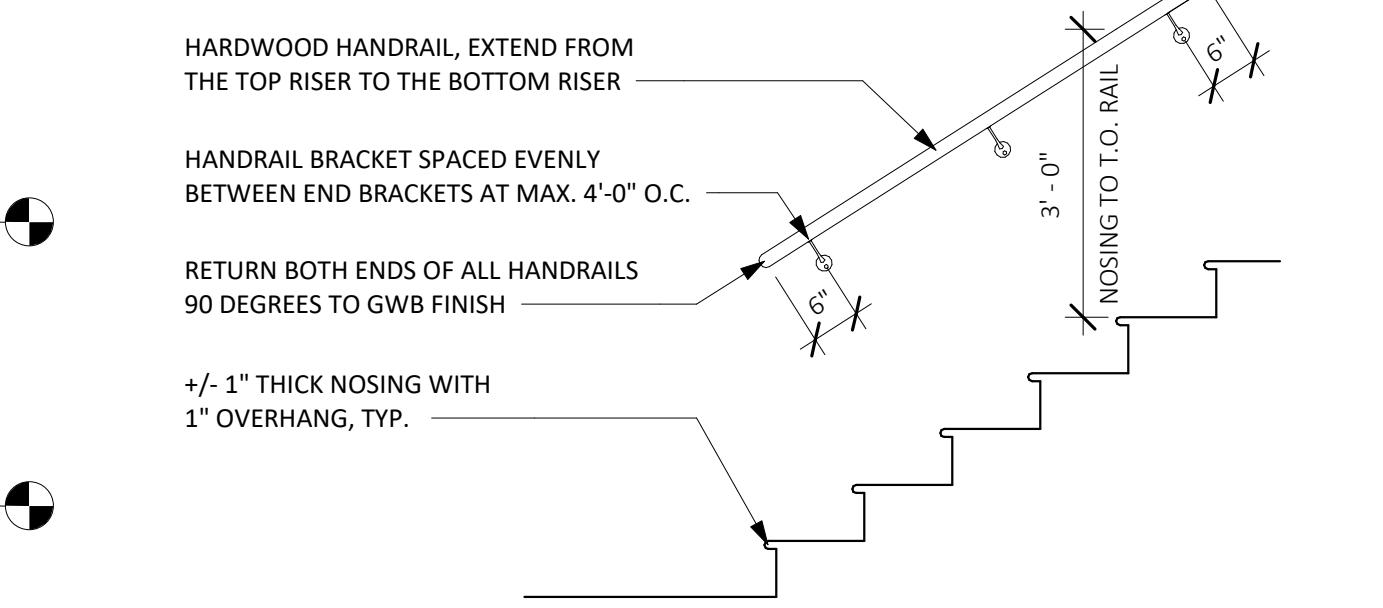


⑧ STAIR SECTION 4  
1/4" = 1'-0"

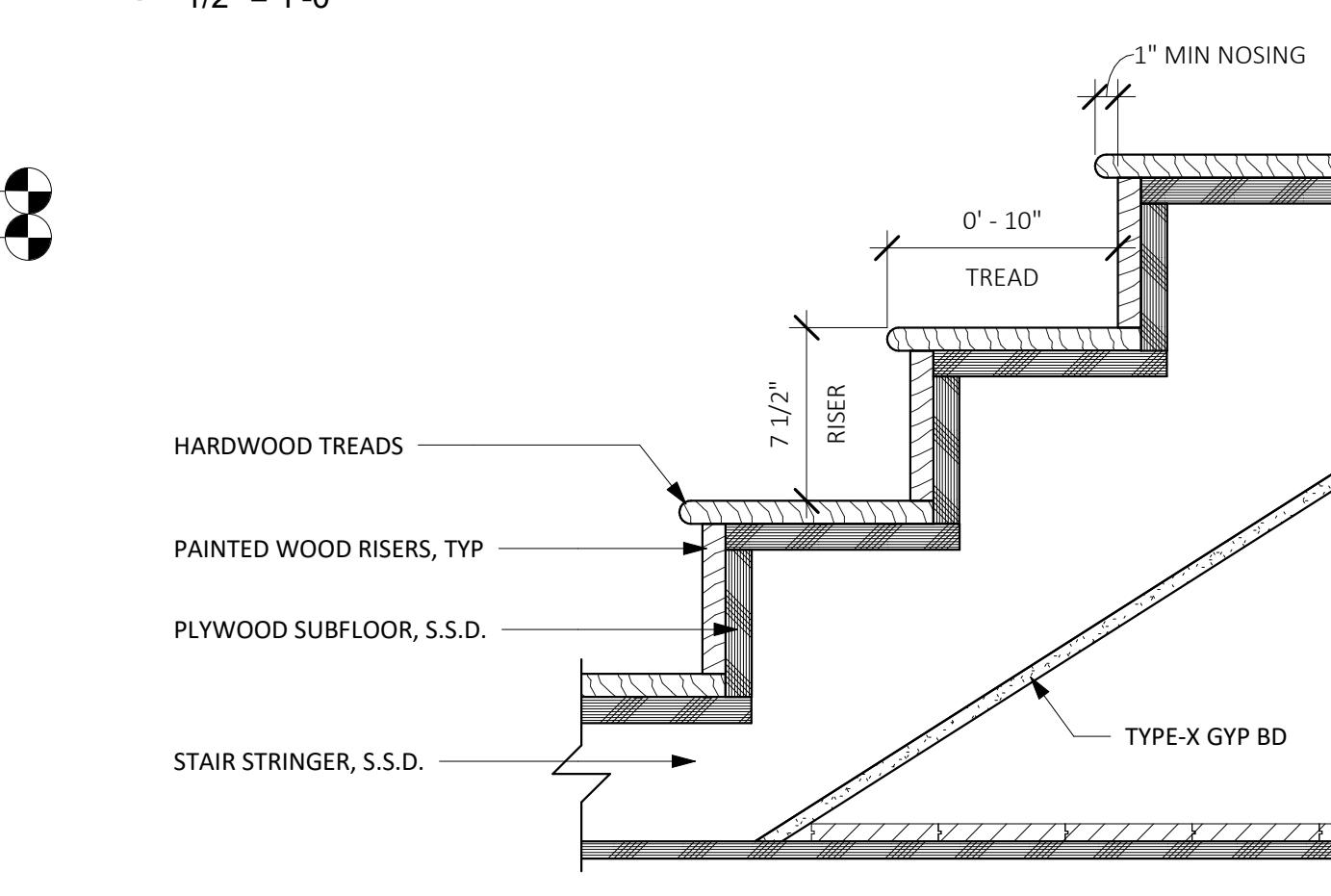
⑨ STAIR SECTION 2  
1/4" = 1'-0"



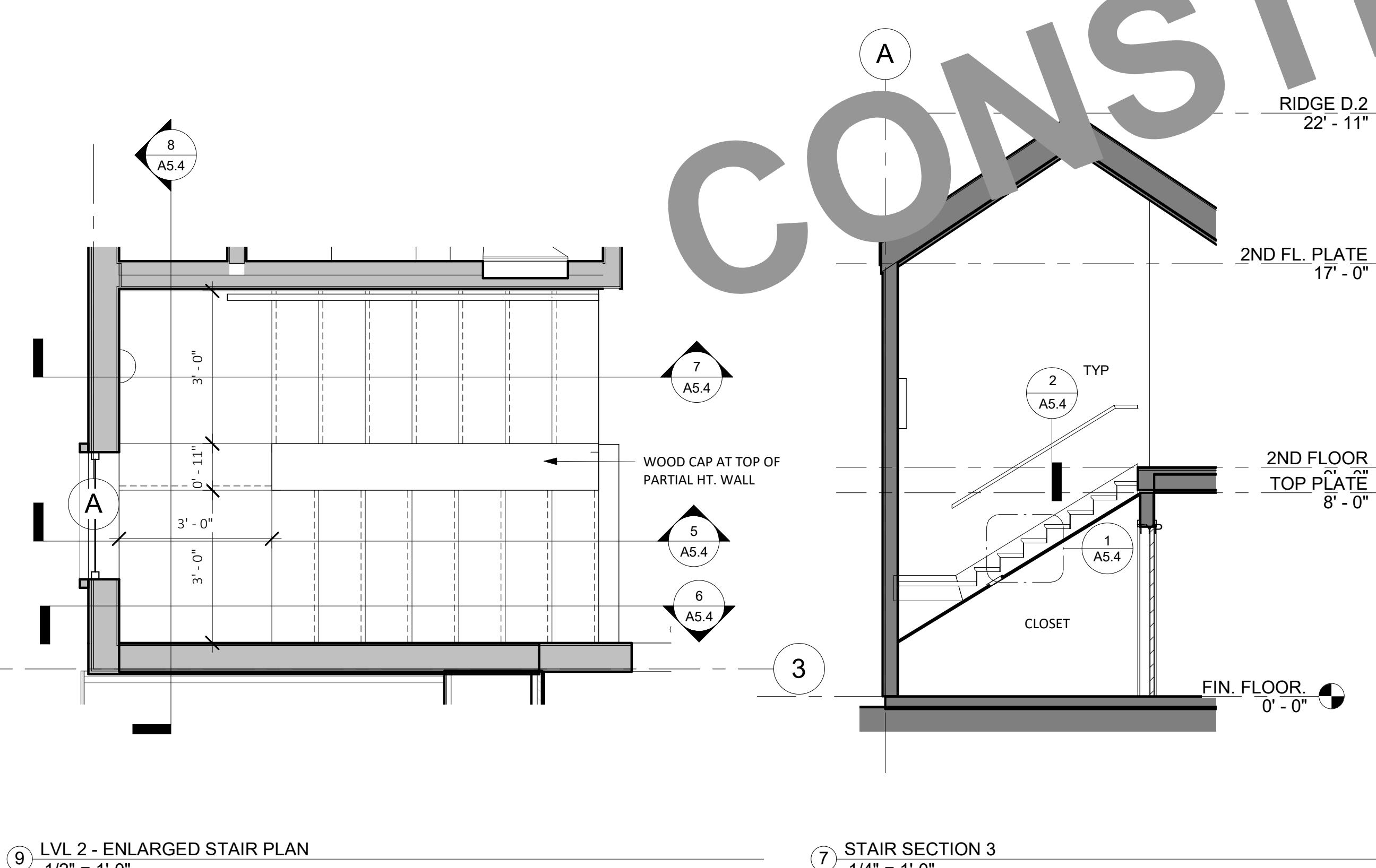
④ WD. CAP @ PARTIAL HEIGHT WALL @ 2ND FLOOR  
3" = 1'-0"



③ HANDRAIL MOUNTING DETAILS  
3" = 1'-0"



① STAIR SECTION DETAILS  
1 1/2" = 1'-0"



⑨ LVL 2 - ENLARGED STAIR PLAN  
1/2" = 1'-0"

⑦ STAIR SECTION 3  
1/4" = 1'-0"

⑤ STAIR SECTION 1  
1/4" = 1'-0"



workbench

189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM  
P: 831.227.2217

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS  
ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL  
PROJECT FOR WHICH IT WAS PREPARED. THE PRE-DESIGNED ADU  
PLANS FOR THE USE OF THE INFORMATION CONTAINED IN THESE  
PLANS FOR ANY OTHER PURPOSE IS PROHIBITED. THE RECIPIENT  
IS RESPONSIBLE TO VERIFY ANY AND ALL INFORMATION RELEVANT TO  
THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT.  
WORKBENCH AND THE COUNTY OF PLUMAS SHALL NOT BE  
RESPONSIBLE FOR ANY AND ALL CLAIMS, SUITS, LIABILITIES, JUDGEMENTS,  
OR COSTS ARISING OUT OF THE INFORMATION CONTAINED IN THESE PLANS.

2. THE RECIPIENT AGREES AND ACKNOWLEDGES THAT THE USE  
OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT  
ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR THE COUNTY  
OF PLUMAS. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS  
OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE  
INFORMATION CONTAINED IN THESE PLANS. WORKBENCH OR  
ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR OTHERS  
WILL AT THE RECIPIENT'S OWN RISK. THE RECIPIENT AGREES TO  
FURTHER STATE THAT THE RECIPIENT WILL, TO THE FULLEST  
PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE  
COUNTY OF PLUMAS HARMLESS FROM ANY AND ALL CLAIMS, SUITS,  
LIABILITIES, JUDGEMENTS, OR COSTS ARISING OUT OF  
RESULTS OF THE RECIPIENT'S USE OF THESE PLANS, INCLUDING  
ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED  
AND SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES  
NOT AGREE WITH THE ABOVE CONDITIONS, THE RECIPIENT SHOULD  
NOT PROCEED BEYOND THIS DISCLAIMER.

# PLUMAS COUNTY PRE-DESIGNED ADU

PLAN D - THREE BEDROOM ADU

1200 GSF

NOT FOR  
CONSTRUCTION

D - SCHEDULES

A6.0

## WINDOW SCHEDULE

USE WINDOW SCHEDULE ONLY FOR SELECTED ARCHITECTURAL STYLE  
(REF. SHEET G0/PROJECT CHECKLIST)

### WINDOW SCHEDULE - TYPE D - SUMMIT

TYPE	TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS
1	1S	30" X 60" PICTURE	1	2' - 6"	5' - 0"	1' - 0"	6' - 0"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
1	130	30" X 30" PICTURE	3	2' - 6"	2' - 6"			PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
1	160	60" X 60" PICTURE	1	5' - 0"	5' - 0"	1' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
2	236	36" X 24" AWNING	2	3' - 0"	2' - 0"	4' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	3E	30" X 48" CASEMENT (EGRESS LOCATION)	3	2' - 6"	4' - 0"	2' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	348	30" X 48" CASEMENT	8	2' - 6"	4' - 0"			PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	360	30" X 60" CASEMENT	2	2' - 6"	5' - 0"	1' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI

### WINDOW SCHEDULE - TYPE D - LAKESIDE

TYPE	TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS
1	1S	30" X 60" CASEMENT	1	2' - 6"	5' - 0"	1' - 0"	6' - 0"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
1	130	30" X 30" PICTURE	1	2' - 6"	2' - 6"	8' - 6"	11' - 0"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
2	236	36" X 24" AWNING	2	3' - 0"	2' - 0"	4' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	3E	30" X 48" CASEMENT (EGRESS LOCATION)	3	2' - 6"	4' - 0"			PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	348	30" X 48" CASEMENT	12	2' - 6"	4' - 0"			PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	360	30" X 60" CASEMENT	1	2' - 6"	5' - 0"	3' - 6"	8' - 6"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI

### WINDOW SCHEDULE - TYPE D - GOLDRUSH

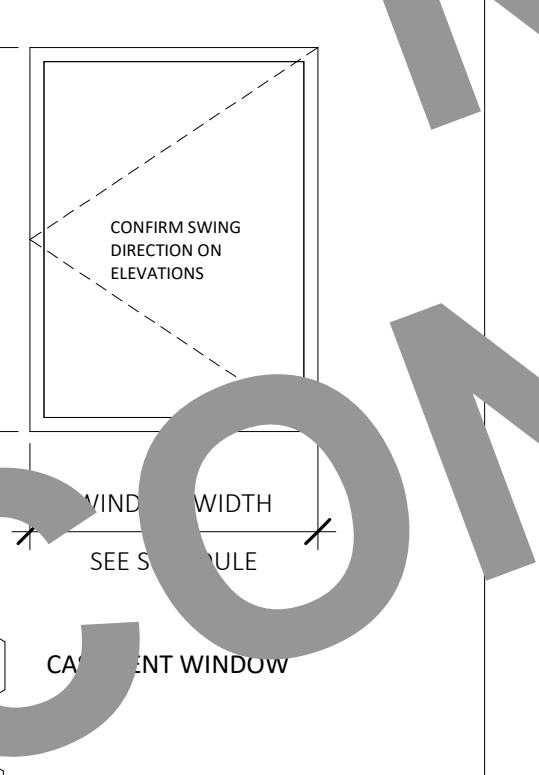
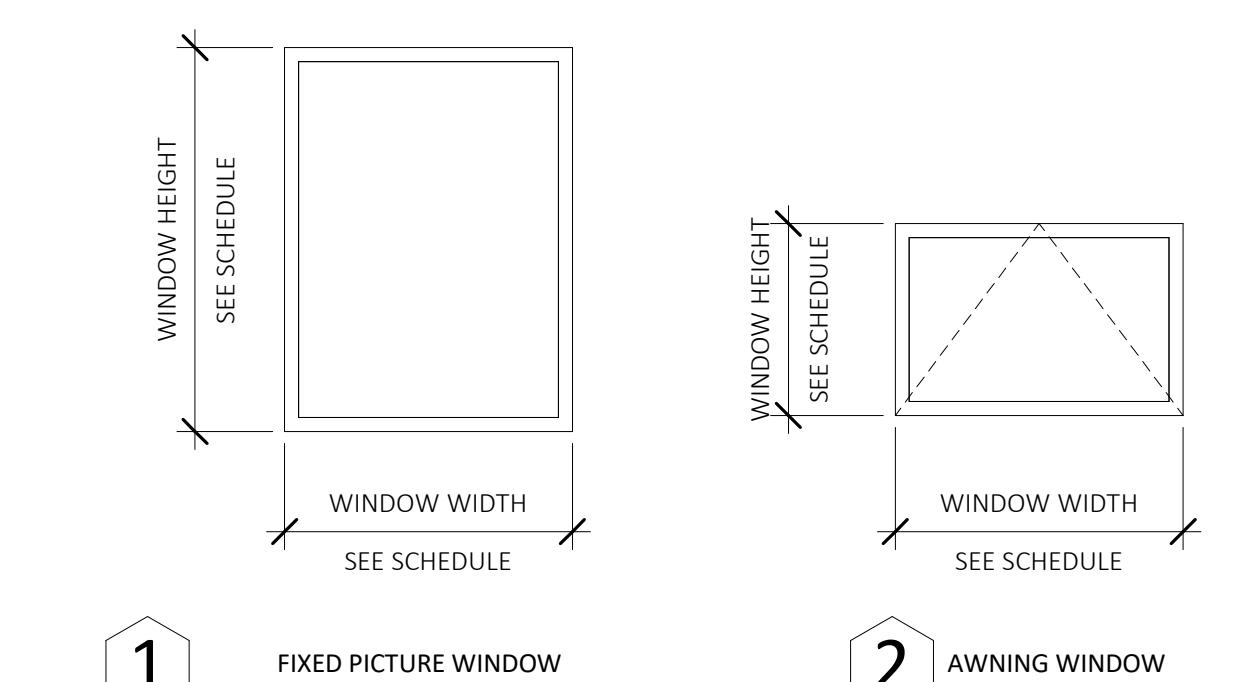
TYPE	TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS
1	1S	30" X 60" CASEMENT	1	2' - 6"	5' - 0"	1' - 0"	6' - 0"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
1	130	30" X 30" PICTURE	1	2' - 6"	2' - 6"	8' - 0"	10' - 6"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
2	230	30" X 24" AWNING	2	3' - 0"	2' - 0"	4' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	3E	30" X 48" CASEMENT	16	2' - 6"	4' - 0"			PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
7	7	30" ROUND PICTURE	2	2' - 6"	2' - 6"	8' - 6"	11' - 0"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI

### WINDOW SCHEDULE - TYPE D - MEADOW

TYPE	TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS
1	1S	30" X 60" CASEMENT	1	2' - 6"	5' - 0"	1' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
1	130	30" X 30" PICTURE	2	2' - 6"	2' - 6"			PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
1	160	60" X 60" PICTURE	1	5' - 0"	5' - 0"	1' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
2	218	30" X 18" AWNING	1	2' - 6"	1' - 6"	0' - 2"	1' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
2	224	36" X 24" AWNING	2	3' - 0"	2' - 0"	4' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	3E	30" X 48" CASEMENT (EGRESS LOCATION)	3	2' - 6"	4' - 0"			PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	348	30" X 48" CASEMENT	8	2' - 6"	4' - 0"			PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI
3	360	30" X 60" CASEMENT	4	2' - 6"	5' - 0"	1' - 8"	6' - 8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI

## WINDOW TYPES

WINDOWS SHOWN HERE ARE GENERIC. REFERENCE ELEVATIONS FOR WINDOW STYLING AND MUNTIN LAYOUT



## WINDOW / MATERIAL LEGEND

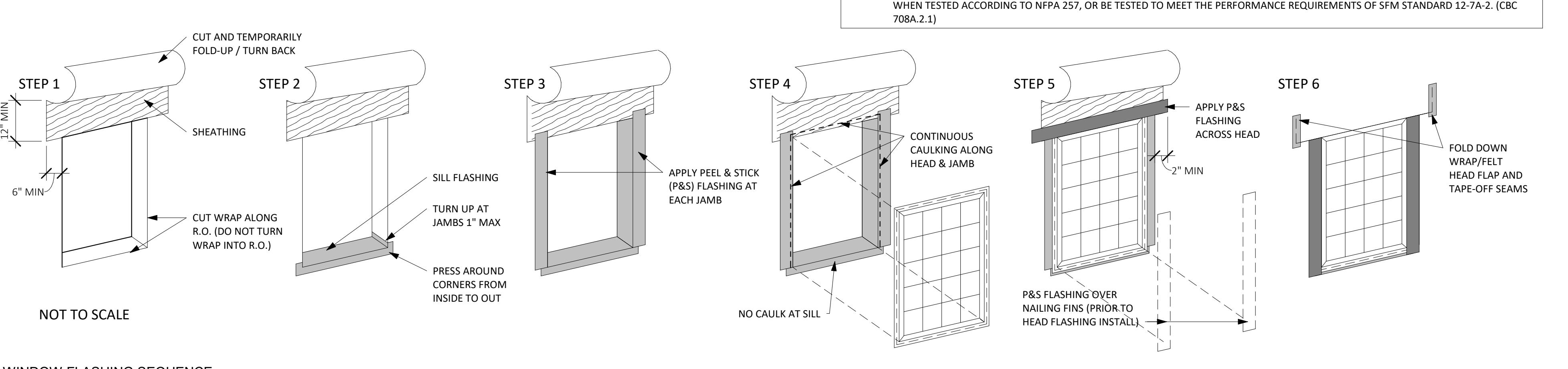
FRAME MATERIAL	FRAME FINISH	GLAZING TYPE
HC	POLY	REFER TO TITLE REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.
SC	STAIN	
HM	ANNO	
ALUM	ANNODIZED ALUM	
VIN	INTEGRAL COLOR	
COMP	EXISTING	
E		

## GLAZING TYPES

GL-1 1" OVERALL DOUBLE GLAZED UNIT  
GL-2 1" OVERALL DOUBLE GLAZED UNIT, TEMPERED  
GL-3 1" OVERALL DOUBLE GLAZED UNIT, TEMPERED, TRANSLUCENT

## TEMPERED GLAZING LOCATIONS

- GLAZING IN ALL SWING AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
  - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
  - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED ORIGINALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. CBC 2406.4.2
- GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR ADJACENT TO HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.
- GLAZING FOR STRUCTURES IN WUI ZONE: EXTERIOR WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS: TO BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2. (CBC 708A.2.1)

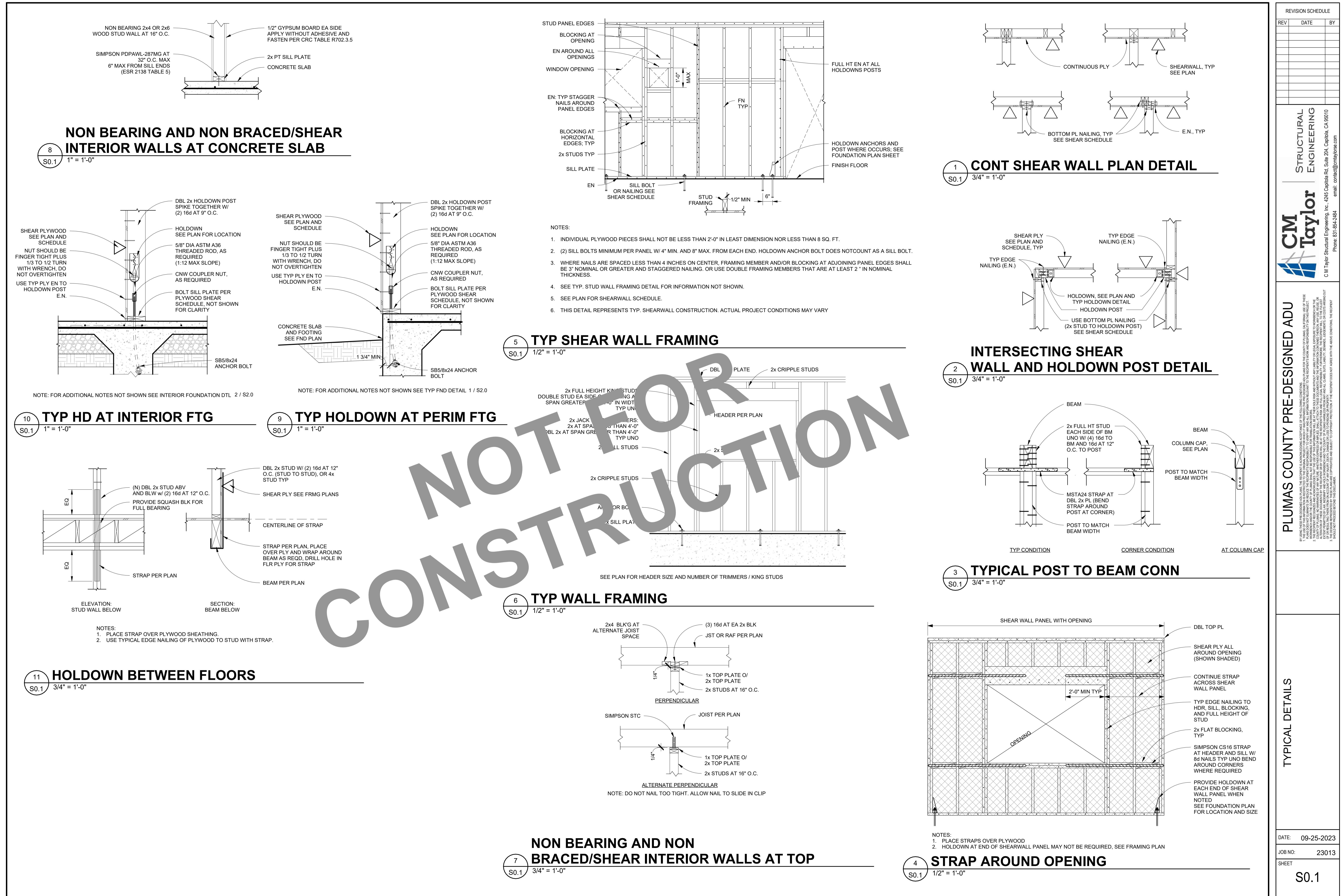


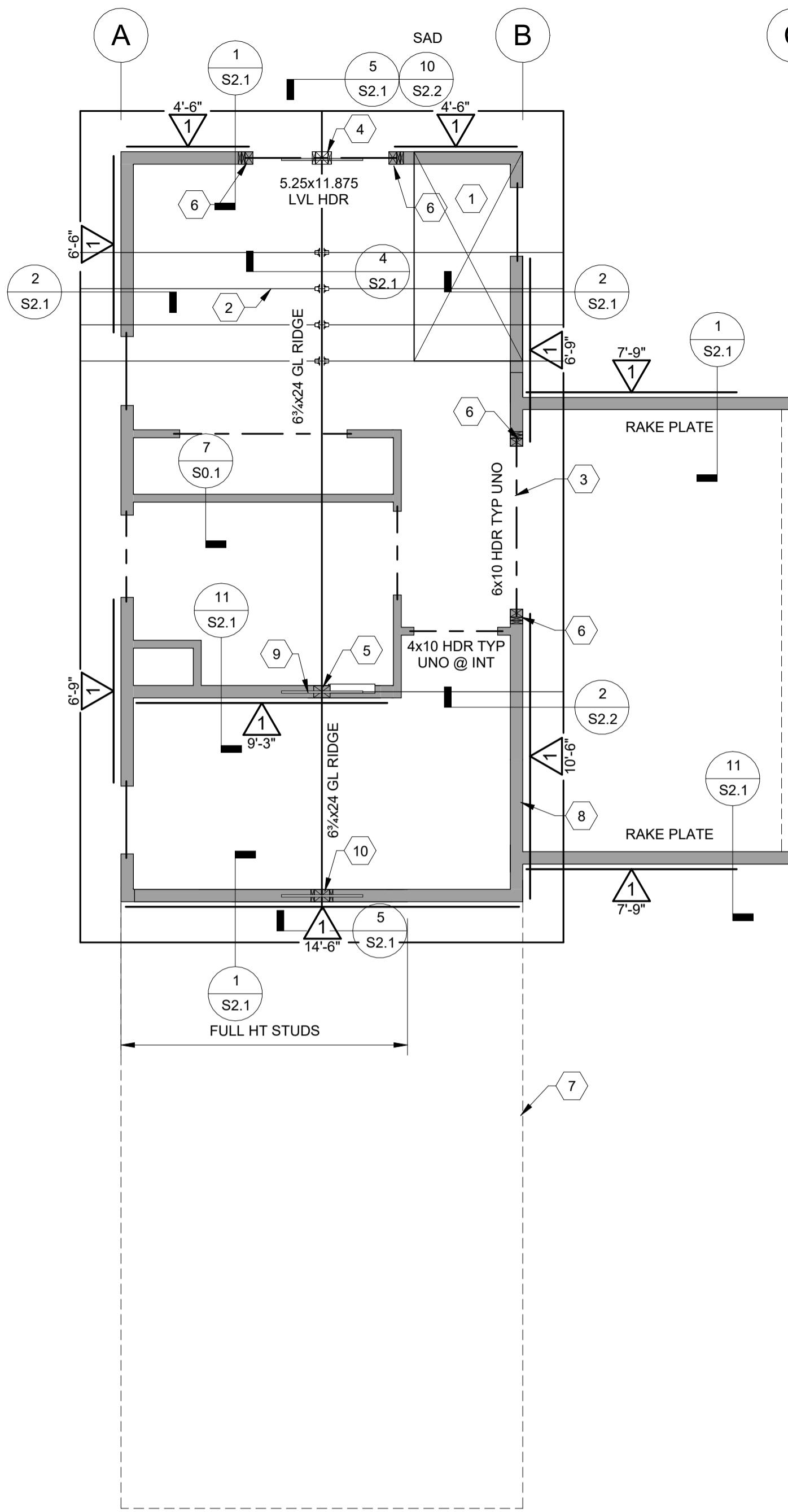
## DOOR SCHEDULE

### DOOR SCHEDULE - ONE BEDROOM - TYPE D

DOOR TYPE	DOOR MARK	DESCRIPTION	DIMENSIONS			MATERIALS			DETAILS			HARDWARE GROUP
			UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL						







TYPE D THREE BEDROOM ROOF FRAMING PLAN

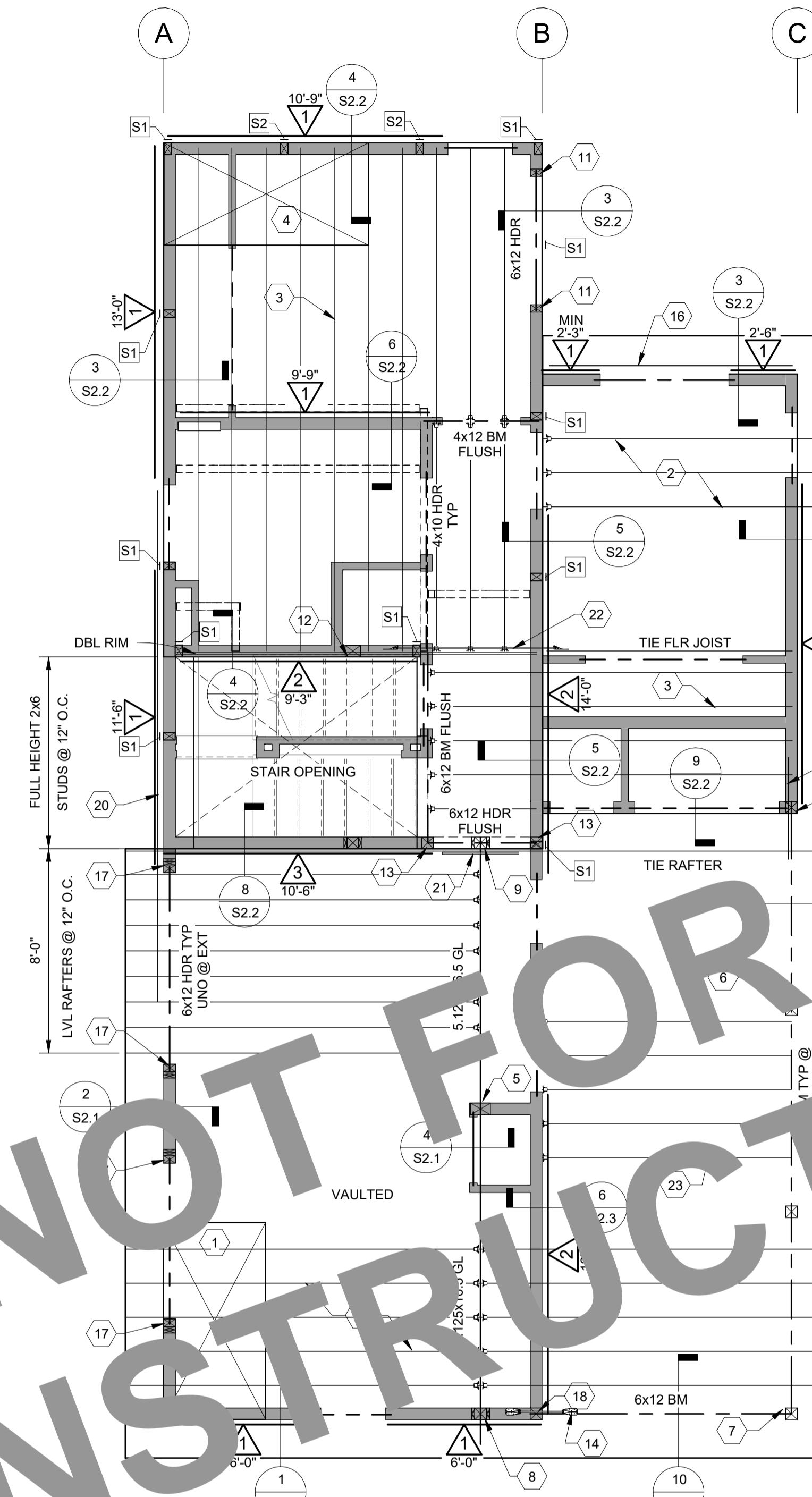
1/4" = 1'-0"

TYPE D THREE BEDROOM  
ROOF FRAMING PLAN KEYNOTES

NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	1.75x11.875 LVL RAFTERS AT 16" O.C. WITH HUS1.81/10 HANGERS
3	ATTIC ACCESS DOOR ABOVE ACCESS VERIFY SEE ARCH DWGS
4	6x8 No.1 POST RIPPED TO BEAM WIDTH AND SIDE 2x6 STUDS BEAM POCKET
5	5.25x9.5 LVL WITH CCQ765DS2.5 POST CAP AND SIDE 1.75x5.5 LVL STUDS
6	4x6 No.1 POST WITH EPC6Z POST CAP AND DBL KING STUDS
7	LOWER WALL OUTLINE
8	2x6 STUDS AT 12" O.C. FOR SECOND FLOOR WALL GRID B BETWEEN GRIDS 2 & 3
9	MSTA30 STRAP FROM TIE RAF OVER RIDGE TO TIE Rafter SEE DETAIL 3/S2.1
10	6x6 POST RIPPED TO BEAM WIDTH AND SIDE 2x6 STUDS BEAM POCKET

ROOF AND CEILING/LOFT FRAMING NOTES

- SEE STRUCTURAL NOTES SHEET S0.0, TYPICAL FRAMING DETAILS SHEET S0.1 AND FOUNDATION NOTES.
- ROOF PLYWOOD SHALL BE 1/8" OR THICKER APA RATED SHEATHING C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 40/20 FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AND 12" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER END PANEL JOINTS.
- ALL "TIE" RRAFTERS AND JOISTS TO HAVE EDGE NAILING (E.N.) FROM ROOF PLYWOOD TO RAFTER.
- SHEAR WALLS ARE INDICATED BY ETC. ON THE FRAMING PLANS. SEE PLYWOOD SHEAR SCHEDULE.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE SHEAR WALL TYPE
- ROOF/CEILING PLYWOOD SHALL BE 23/32" OR THICKER APA SHEATHING, C-D GRADE OR BETTER WITH PANEL SPAN RATING OF 48/24. FASTEN WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND BOUNDARY NAILING (B.N.) AT 10" O.C. AT INTERMEDIATE SUPPORTS (F.N.). PLACE PLYWOOD PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS.



TYPE D THREE BEDROOM FLOOR FRAMING PLAN

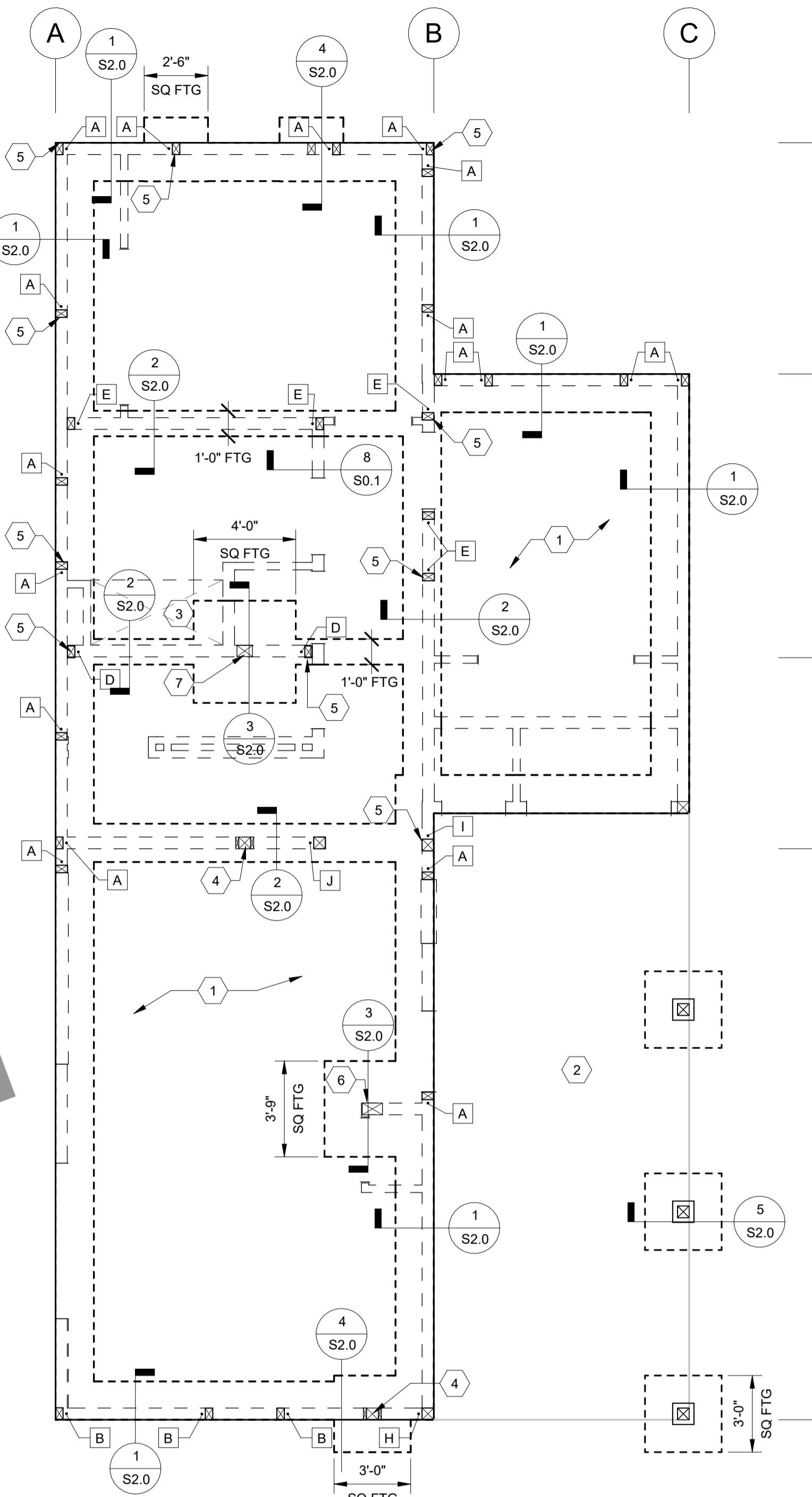
1/4" = 1'-0"

TYPE D THREE BEDROOM  
FLOOR FRAMING PLAN KEYNOTES

NOTE NUMBER	NOTE TEXT
1	ROOF PLYWOOD, SEE ROOF FRAMING AND CEILING/LOFT FRAMING NOTES
2	1.75x11.875 LVL RAFTERS AT 16" O.C. WITH HUS1.81/10 HANGERS
3	2x12 FLOOR JOIST AT 16" O.C. WITH LUS210 HANGER WHERE APPLIES
4	FLOOR PLYWOOD SEE ROOF AND CEILING FRAMING NOTES
5	5.25x9.5 LVL WITH CCQ765DS2.5 POST CAP AND SIDE 1.75x5.5 LVL STUDS
6	6x6 POST WITH C6C6 POST CAP
7	6x6 POST WITH ECCL1 POST CAP
8	6x6 RIPPED TO BEAM WIDTH, SISTER 2x6 SIDES STUDS BEAM POCKET
9	6x6 POST RIPPED WITH SIDE 2x6 SIDE STUDS BEAM POCKET AND INVERTED PC6Z FROM POST TO HDR
10	4x6 POST WITH EPC6Z POST CAP
11	5.25x7-1/4 LVL POST PROVIDE SQUASH BLOCK FOR FULL BEARING OF POST ABOVE
12	6x6 POST WITH EPC6Z POST CAP
13	DTT22 WITH 1/2" DIAMETER TR FROM 4x6 BLK IN WALL TO TOP OF BEAM
14	CS16 STRAP x60" LONG FROM TOP OF DBL TOP PLATE TO TOP OF BEAM
15	CS16 STRAP ACROSS HEADER OVER BLOCKING IN WALL FRAMING
16	4x6 CRIPPLE POST WITH DBL KING STUD
17	6x6 No.1 POST, BM POCKET WITH FULL HEIGHT 2x6 STUDS BOTH SIDES
18	6x6 No.1 POST, BM POCKET NOTCH 6x BM 3" UNDER DBL TOP PLATE
19	CS16 STRAP 20'-0" LONG FROM DOUBLE TOP PLATE
20	MSTA30 STRAP FROM TIE RAF OVER RIDGE TO LEDGER/RAFTER
21	DTT22 WITH 1/2" DIAMETER TR FROM TIE FLOOR JOIST TO DBL RIM
22	2x8 CEILING JOIST AT 16" O.C. WITH LUS28 HANGERS

HOLDOWN STRAP SCHEDULE

MARK	STRAP MODEL	POST SIZE	DETAIL
S1	MST48	DBL 2x6	11/S0.1
S2	MST48	4x6	11/S0.1



TYPE D THREE BEDROOM FOUNDATION PLAN

1/4" = 1'-0"

FOUNDATION PLAN NOTES

- SEE STRUCTURAL NOTES SHEET S0.0 AND TYPICAL FRAMING DETAILS SHEET S0.1.
- DIMENSIONS ARE TO FACE OF CONCRETE, CENTERLINE FOOTING AND POSTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. VERIFY ALL DIMENSIONS WITH ARCHITECT'S PLANS BEFORE BEGINNING WORK.
- HDU2 ETC., SPECIFIES MODEL NUMBER OF FRAMING CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS.
- INDICATES HOLDOWN AND POST, SEE FOUNDATION AND FRAMING PLANS FOR SIZE AND LOCATION AND TYPICAL DETAIL SHEET S0.1.
- CONTRACTOR MAY USE CRACK CONTROL JOINTS IN CONCRETE SLAB TO CONTROL CRACKING. JOINTS SHALL BE SPACED NO FURTHER APART THAN 12 FEET ON CENTER AND HAVE A MIN. DEPTH EQUAL TO 1/3 THE SLAB THICKNESS. JOINTS MAY BE TOOLLED OR SAWCUT. SAWCUT JOINTS SHALL BE PLACED AS SOON AS POSSIBLE AFTER FINISHING SLAB.

HOLDOWN SCHEDULE

MARK	HOLDOWN MODEL	POST SIZE	ANCHOR TYPE	DETAIL
A	HDU2	DBL 2x6	SB5/8x24	9/S0.1
B	HDU4	DBL 2x6	SB5/8x24	9/S0.1
C	HDU5	DBL 2x6	SB5/6x24	9/S0.1
D	HDU5	DBL 2x6	SB5/6x24	10/S0.1
E	HDU2	DBL 2x6	SB5/6x24	10/S0.1
F	HDU2	DBL 2x4	SB5/6x24	10/S0.1
G	HDU2	4x6	SB5/6x24	9/S0.1
H	HDU4	6x6	SB5/6x24	9/S0.1
I	HDU2	6x6	SB5/6x24	9/S0.1
J	HDU2	6x6	SB5/6x24	10/S0.1
K	HDU4	DBL 2x4	SB5/6x24	10/S0.1

TYPE D THREE BEDROOM  
FOUNDATION PLAN KEYNOTES

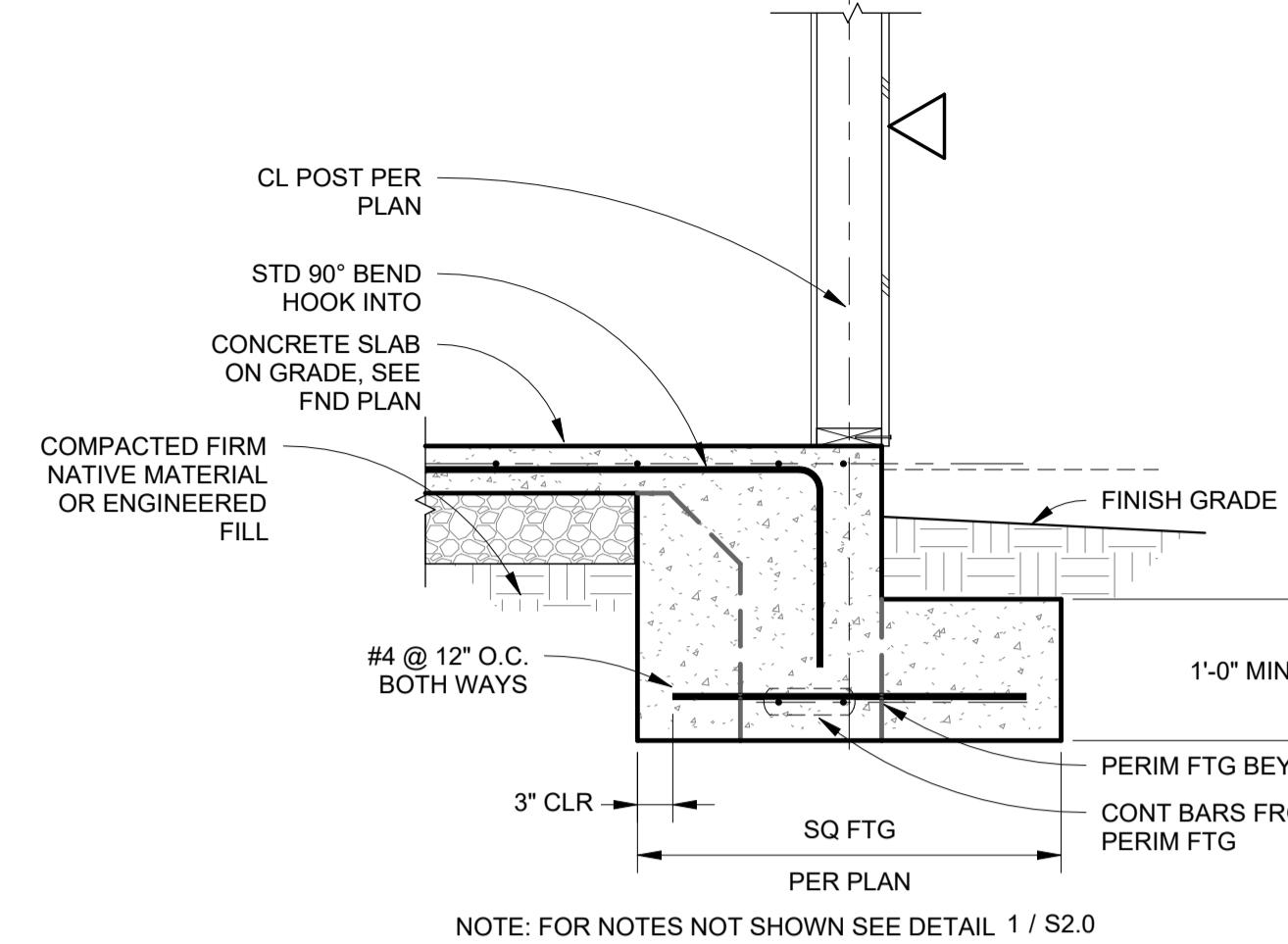
NOTE NUMBER	NOTE TEXT
1	4" CONC. SLAB W/ #4 BARS AT 16" O.C. EA WAY, AT CENTER OF SLAB, OVER 15 MIL VAPOR BARRIER, OVER 4" CLEAN 3/4" DIA. CRUSHED ROCK, TYP.
2	ARCHITECTURAL TOP CONCRETE SLAB ON GRADE, NON STRUCTURAL
3	OPTIONAL CONCRETE SLAB DEPRESSION (1-1/2" MAX) SAD
4	BEAM POCKET ABOVE
5	LVL POST WITH CBS066
6	STACKING HOLDOWN POST FROM ABOVE
7	LVL POST WITH CB610

DATE: 09-25-2023  
JOB NO: 23013  
SHEET S1.0D

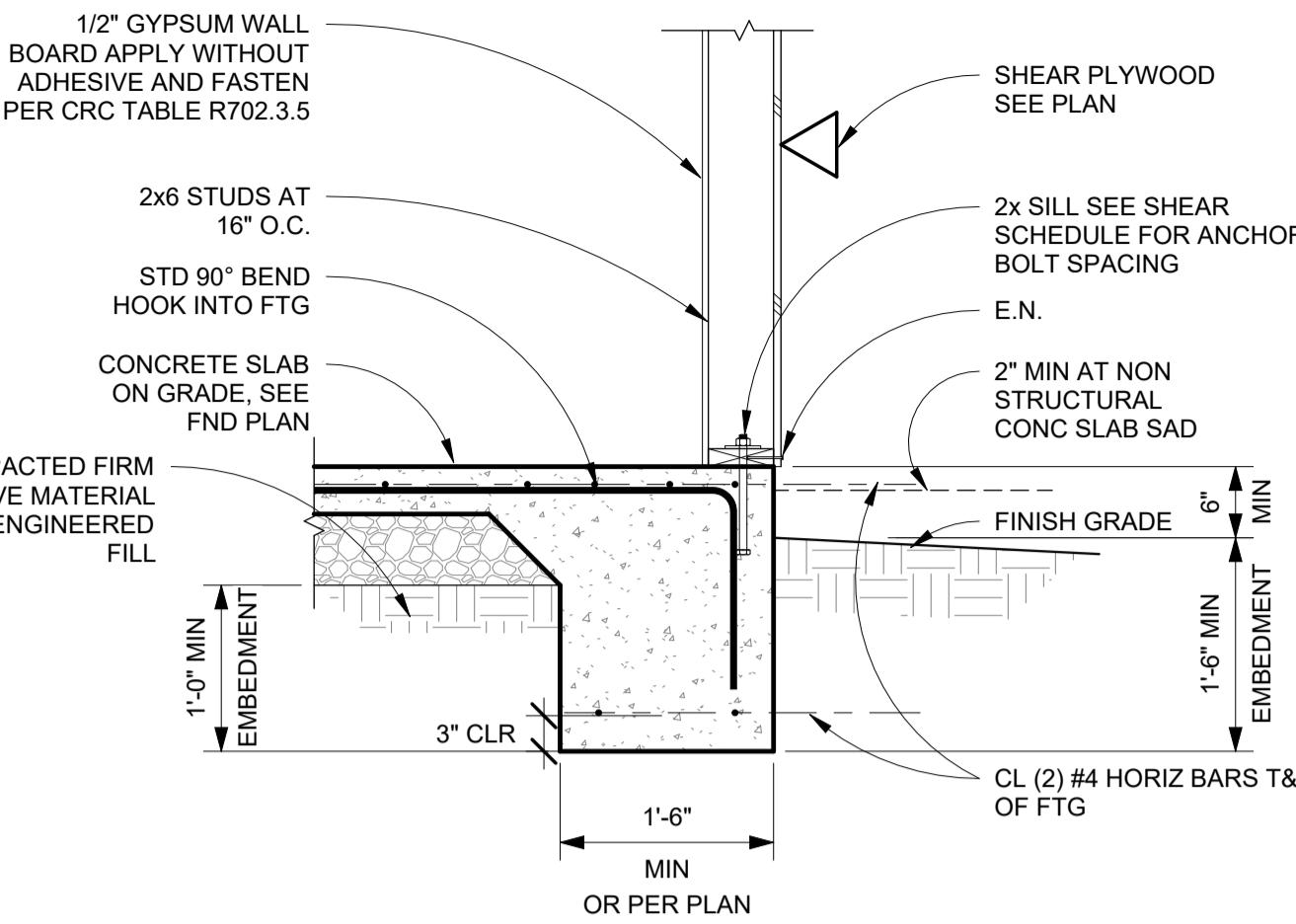
BY USING THIS PRE-DESIGNED ADU, THE RESPONDENT ACKNOWLEDGES ACCEPTANCE OF THE FOLLOWING CONDITIONS:  
1. PLUMAS COUNTY ENGINEERING AND PLANNING DEPARTMENT IS THE SOLE RESPONSIBILITY FOR THE DESIGN AND APPROVAL OF THIS PROJECT. THE RESPONDENT IS NOT RESPONSIBLE FOR THE DESIGN OR APPROVAL OF THIS PROJECT.  
2. PLUMAS COUNTY ENGINEERING AND PLANNING DEPARTMENT IS NOT RESPONSIBLE FOR THE DESIGN AND APPROVAL OF THIS PROJECT.  
3. THE RESPONDENT AGREES TO HOLD PLUMAS COUNTY ENGINEERING AND PLANNING DEPARTMENT, THE PLUMAS COUNTY BOARD OF SUPERVISORS, AND THE PLUMAS COUNTY COUNCIL OF GOVERNMENT, AND THE PLUMAS COUNTY ASSOCIATION OF CITIES AND TOWNS, SUEABLE IN DAMAGE, IN DUE COURSE OF ACTION, FOR ANY AND ALL LIABILITY ARISING OUT OF THE DESIGN AND APPROVAL OF THIS PROJECT.  
4. THE RESPONDENT AGREES THAT THE PLUMAS COUNTY ENGINEERING AND PLANNING DEPARTMENT, THE PLUMAS COUNTY BOARD OF SUPERVISORS, AND THE PLUMAS COUNTY COUNCIL OF GOVERNMENT, AND THE PLUMAS COUNTY ASSOCIATION OF CITIES AND TOWNS, SHALL NOT BE HELD LIABLE FOR ANY AND ALL LIABILITY ARISING OUT OF THE DESIGN AND APPROVAL OF THIS PROJECT.

CONTRACT FOR  
CONSTRUCTION

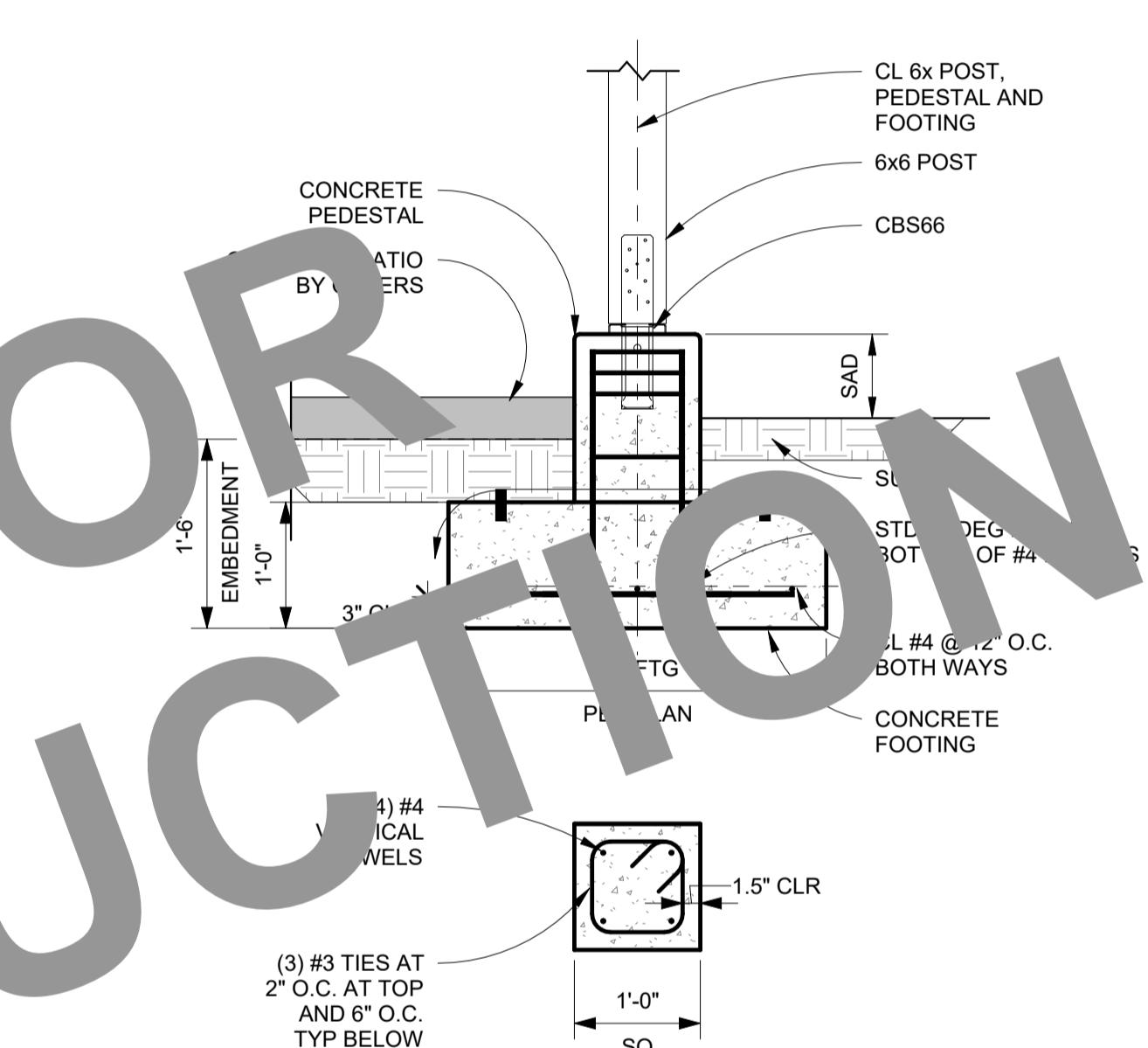
**4 WIDEN FTG AT POST**  
S2.0 3/4" = 1'-0"



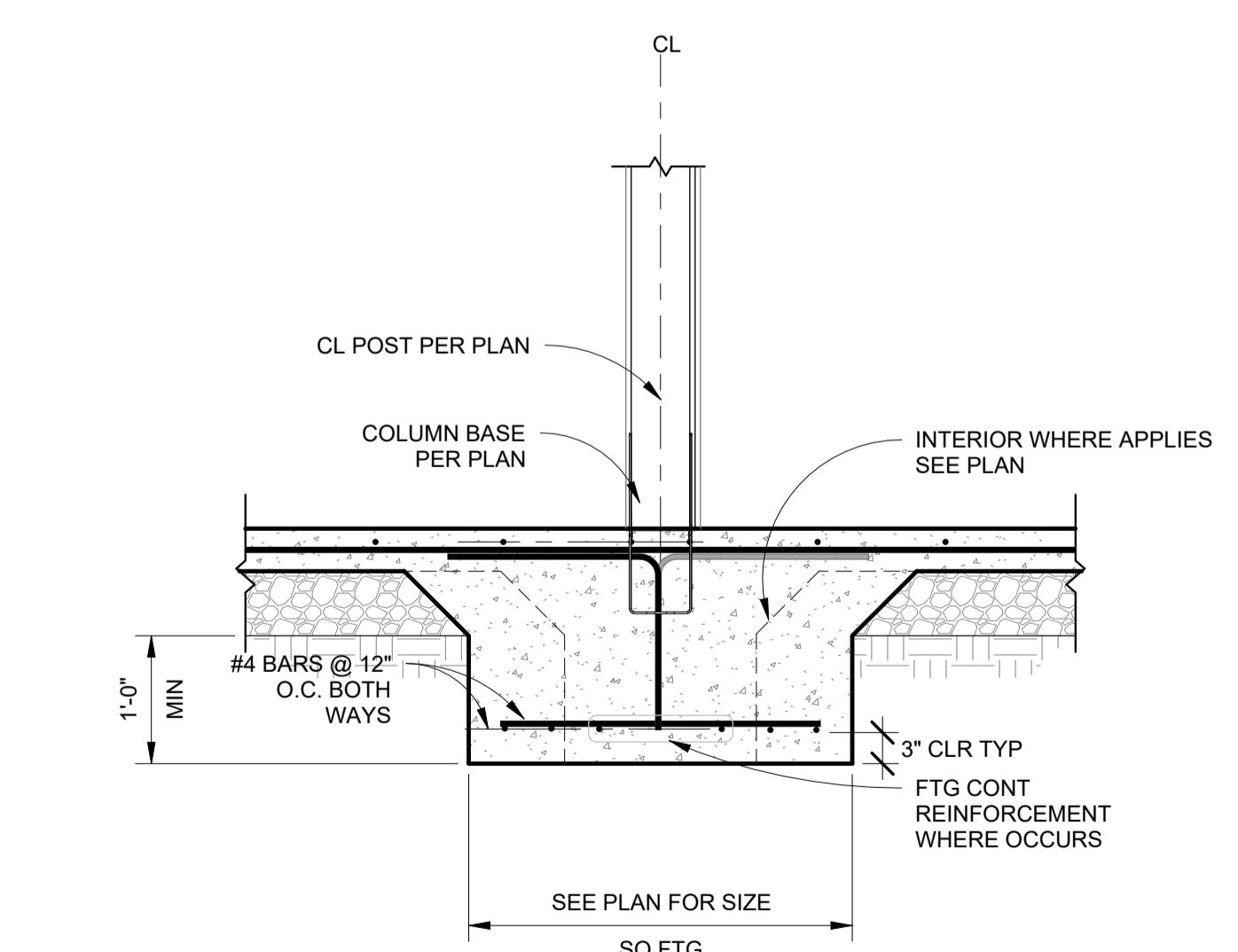
**1 TYP PERIMETER FTG**  
S2.0 3/4" = 1'-0"



**5 COVERED PORCH POST FTG**  
S2.0 3/4" = 1'-0"



**2 INTERIOR FOOTING**  
S2.0 3/4" = 1'-0"



**3 INTERIOR PAD FOOTING**  
S2.0 3/4" = 1'-0"

REVISION SCHEDULE		
REV	DATE	BY

CM Taylor Structural Engineering, Inc. 4245 Capitol Rd, Suite 204, Capitola, CA 95010  
email: contact@cmtylors.com  
Phone: 831-854-4484

PLUMAS COUNTY PRE-DESIGNED ADU

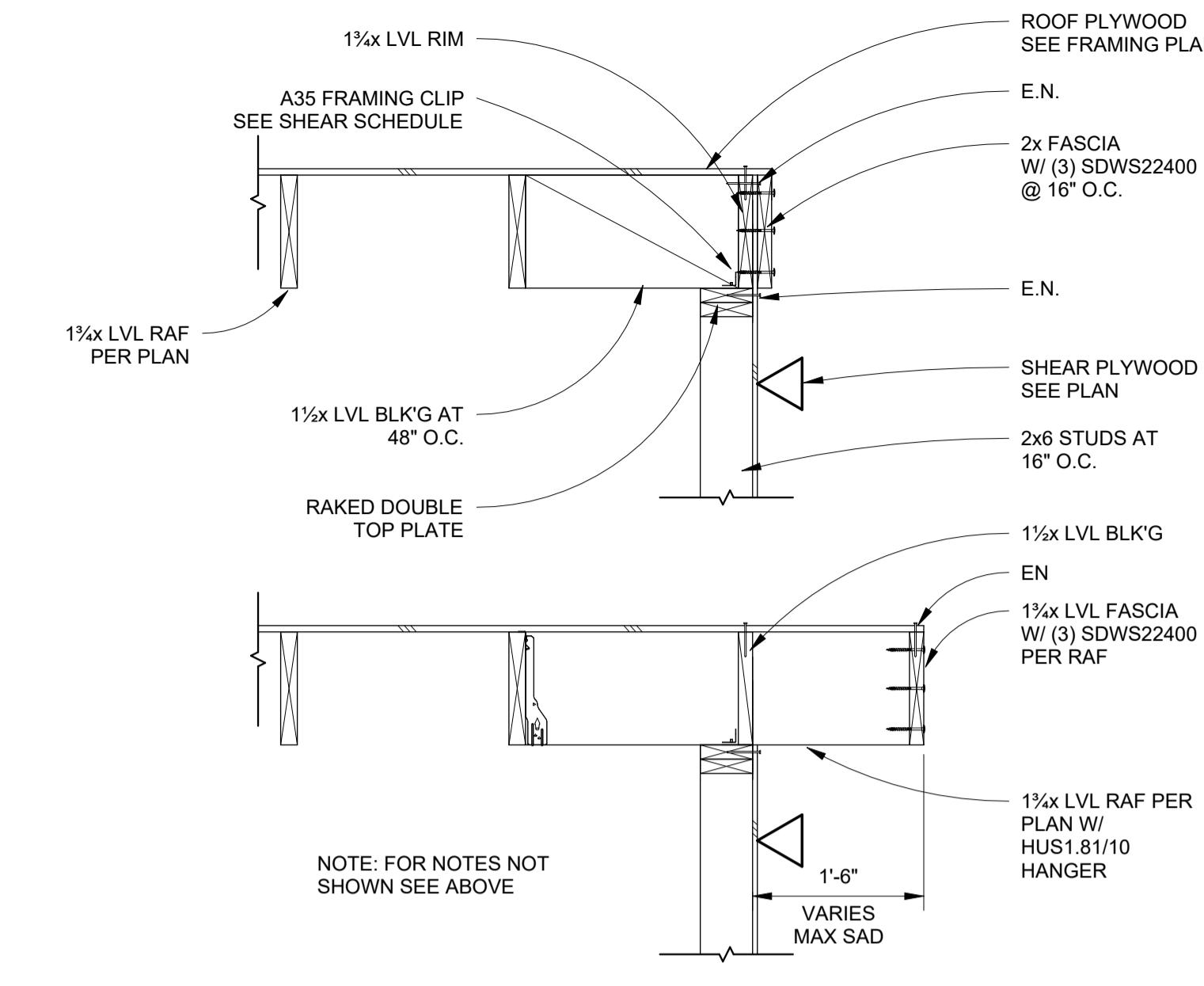
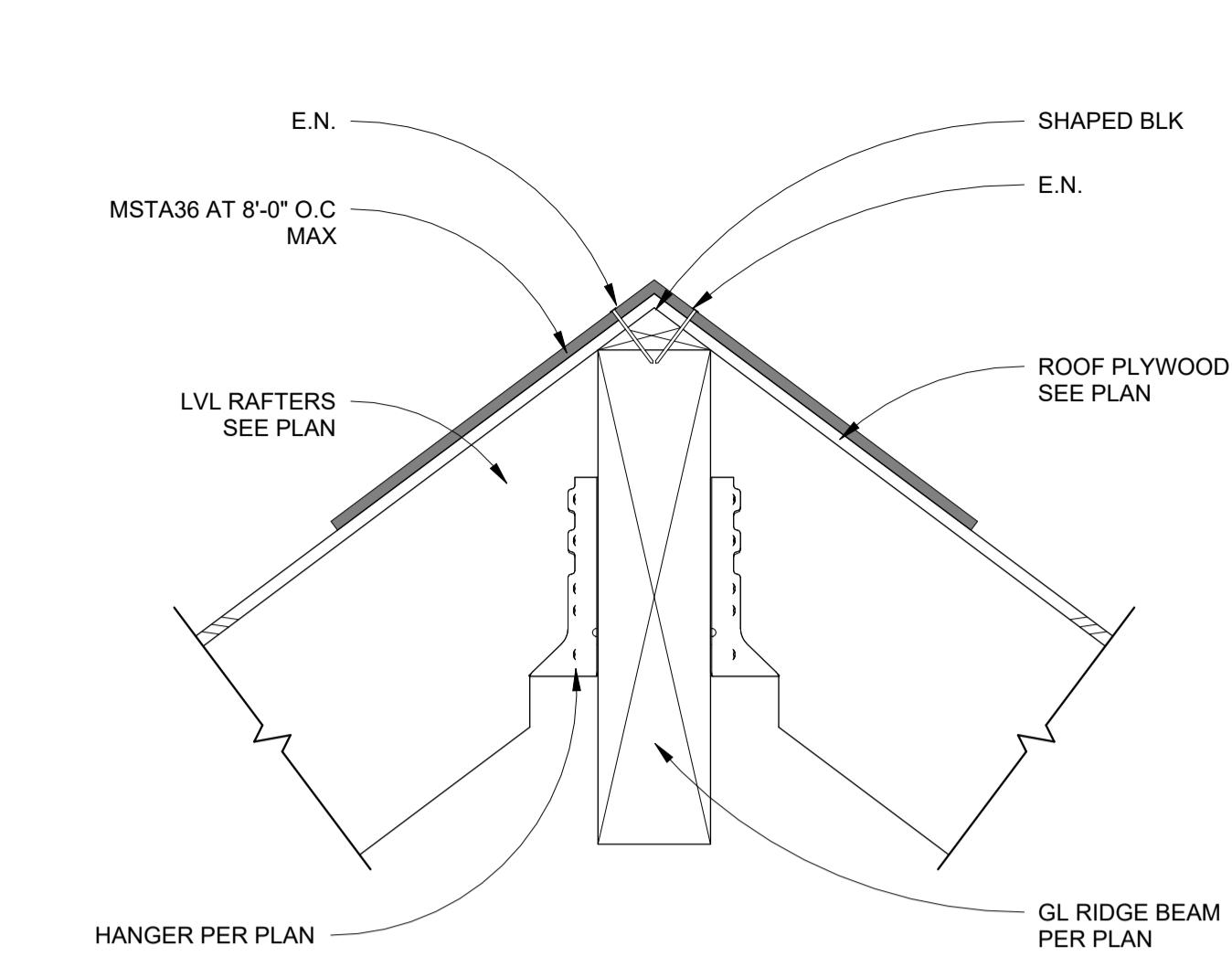
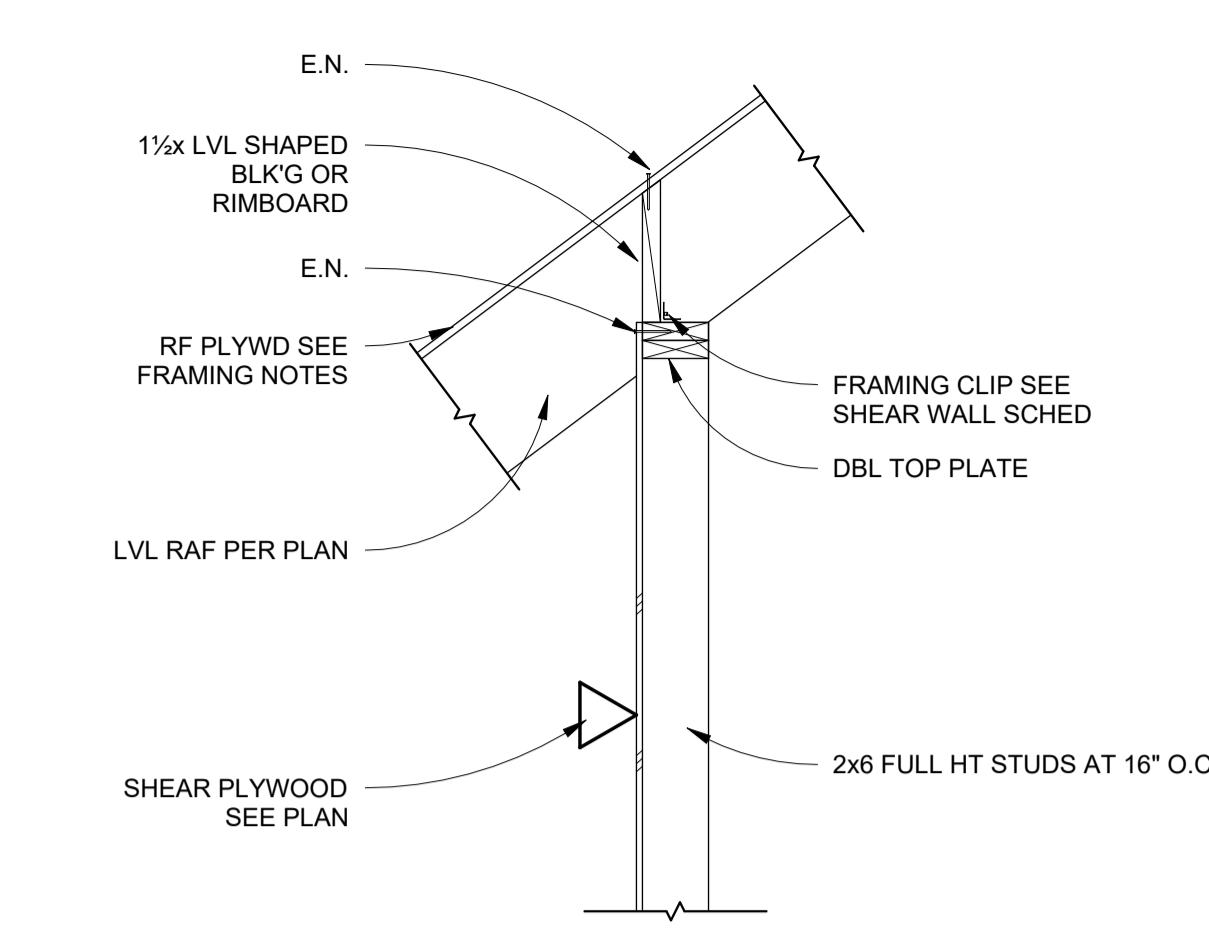
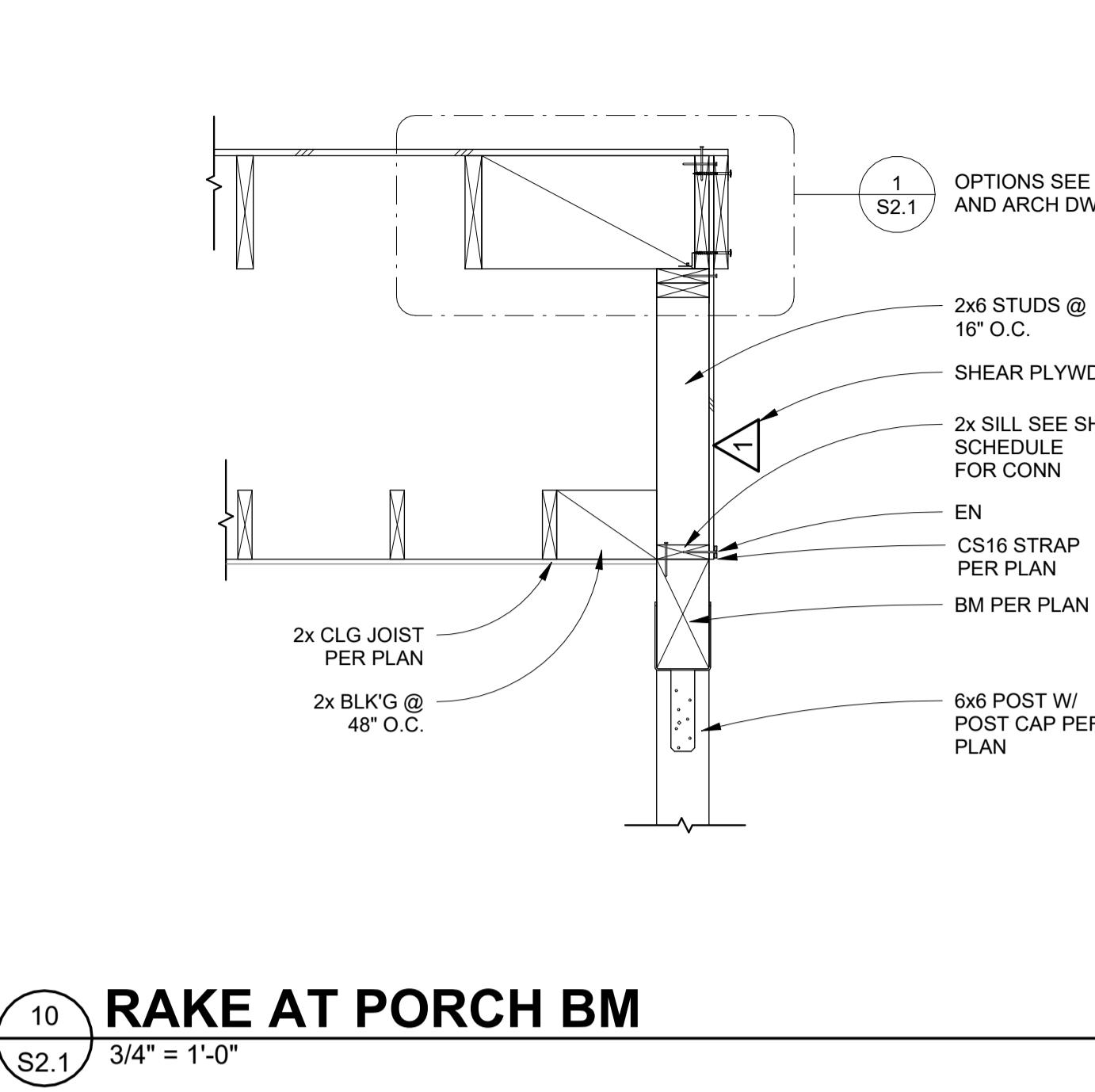
FOUNDATION DETAILS

S2.0

DATE: 09-25-2023  
JOB NO: 23013  
SHEET

BY USING THESE PRE-DESIGNED DETAILS, THE RESPONDENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS:  
1. PLUMAS COUNTY PRE-DESIGNED ADU DETAILS ARE THE PROPERTY OF CM TAYLOR STRUCTURAL ENGINEERING, INC. AND ARE PROVIDED TO THE RESPONDENT FOR THE RESPONDENT'S USE ONLY. THE RESPONDENT AGREES TO HOLD THESE DETAILS CONFIDENTIAL AND NOT TO DISCLOSE THEM TO ANY OTHER PERSON OR ENTITY, EXCEPT AS PROVIDED IN THE CONTRACT DOCUMENTS. THE RESPONDENT AGREES TO USE THESE DETAILS FOR THE PROJECT ONLY AND NOT FOR ANY OTHER PURPOSE. THE RESPONDENT AGREES TO NOT MAKE ANY CHANGES TO THESE DETAILS WITHOUT THE EXPRESSED WRITTEN CONSENT OF CM TAYLOR STRUCTURAL ENGINEERING, INC. THE RESPONDENT AGREES TO NOT RESALE THESE DETAILS TO ANY OTHER PERSON OR ENTITY.  
2. CM TAYLOR STRUCTURAL ENGINEERING, INC. IS NOT RESPONSIBLE FOR ANY DAMAGES OR LOSSES THAT THE RESPONDENT INCURS AS A RESULT OF THE USE OF THESE DETAILS. THE RESPONDENT AGREES TO INDEMNIFY CM TAYLOR STRUCTURAL ENGINEERING, INC. FROM ANY AND ALL CLAIMS, LOSSES, DAMAGES, OR EXPENSES THAT THE RESPONDENT INCURS AS A RESULT OF THE USE OF THESE DETAILS.  
3. THE DETAILS REPRESENTED IN THESE DRAWINGS ARE COM普RIZED AND SUBJECT TO CM TAYLOR STRUCTURAL ENGINEERING, INC.'S GENERAL TERMS AND CONDITIONS. IF THE RESPONDENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, THE RESPONDENT SHALL RETURN THESE DETAILS AND SHALL NOT USE THEM.

BY USING THIS PRE-DESIGNED ADU, THE RESPONDENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS:  
1. PLUMAS COUNTY PRE-DESIGNED ADU IS PROVIDED AS A GENERAL GUIDE ONLY AND IS NOT A SUBSTITUTE FOR THE RESPONDENT'S OWN RESPONSIBILITY IN THIS PROJECT.  
2. PLUMAS COUNTY PRE-DESIGNED ADU IS PROVIDED AS A GENERAL GUIDE ONLY AND IS NOT A SUBSTITUTE FOR THE RESPONDENT'S OWN RESPONSIBILITY IN THIS PROJECT.  
3. THE DESIGNERS OF THIS PRE-DESIGNED ADU ARE NOT RESPONSIBLE FOR THE DESIGN OF THE ADU. THE RESPONDENT IS RESPONSIBLE FOR THE DESIGN OF THE ADU. THE RESPONDENT IS RESPONSIBLE FOR THE DESIGN OF THE ADU.

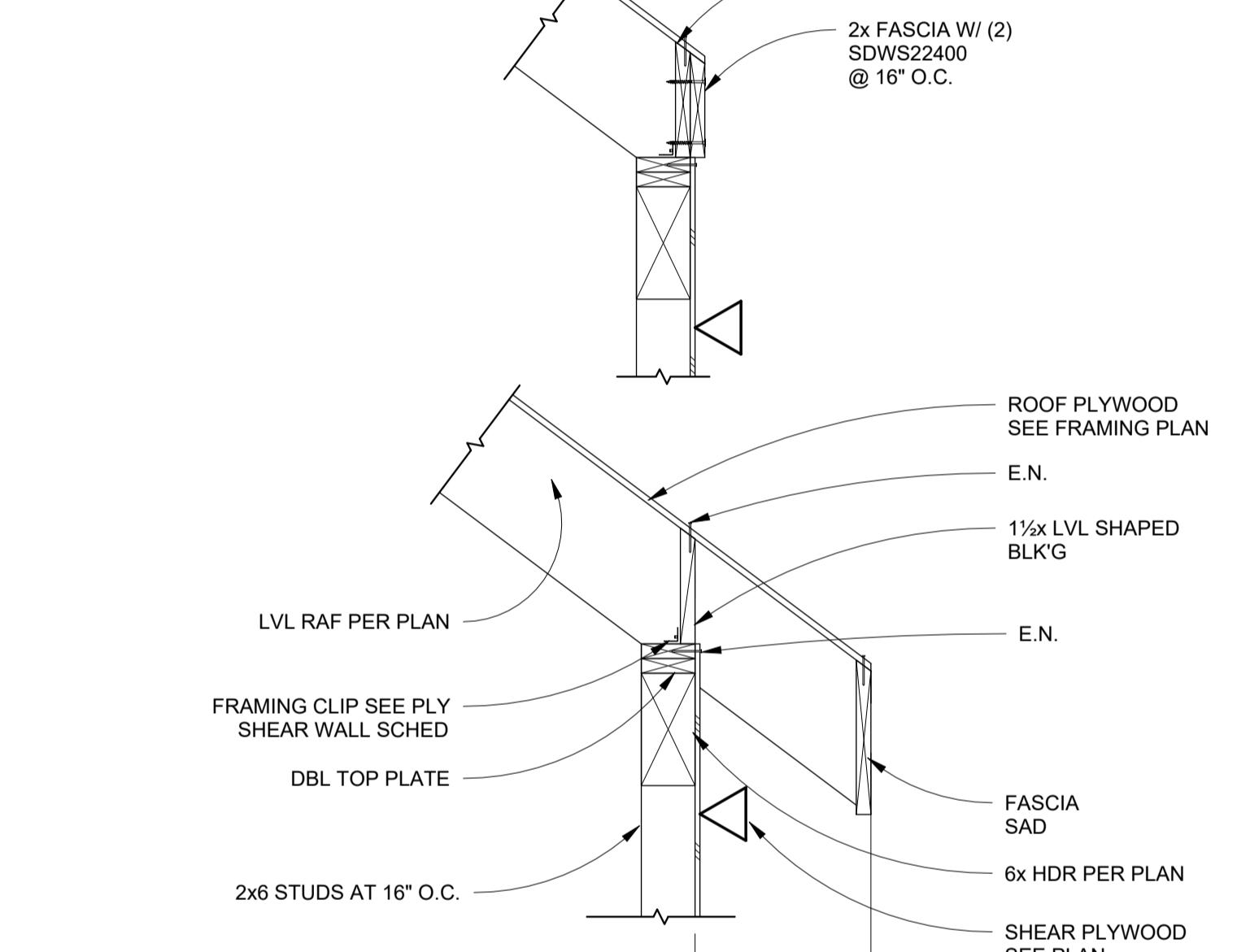
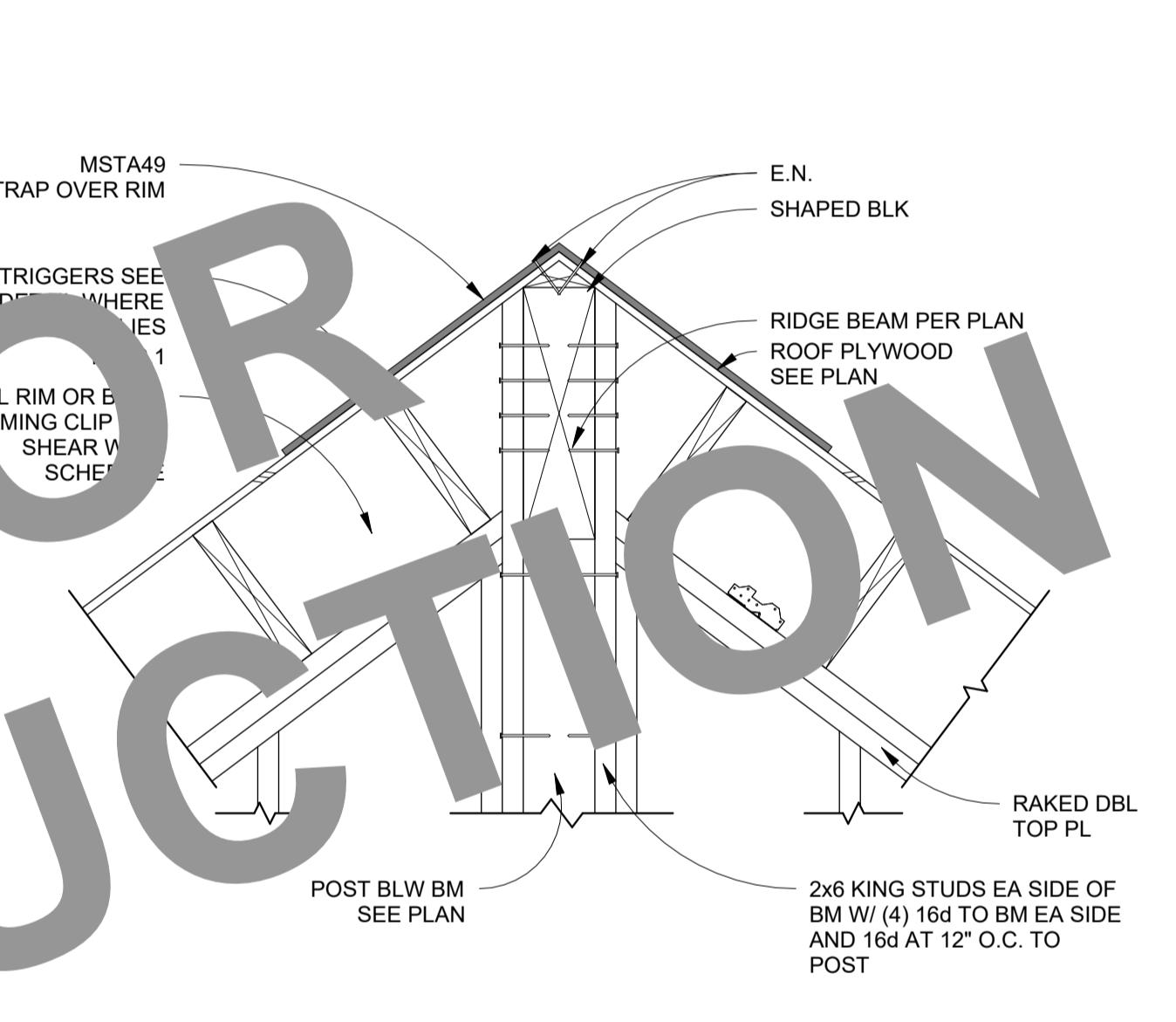
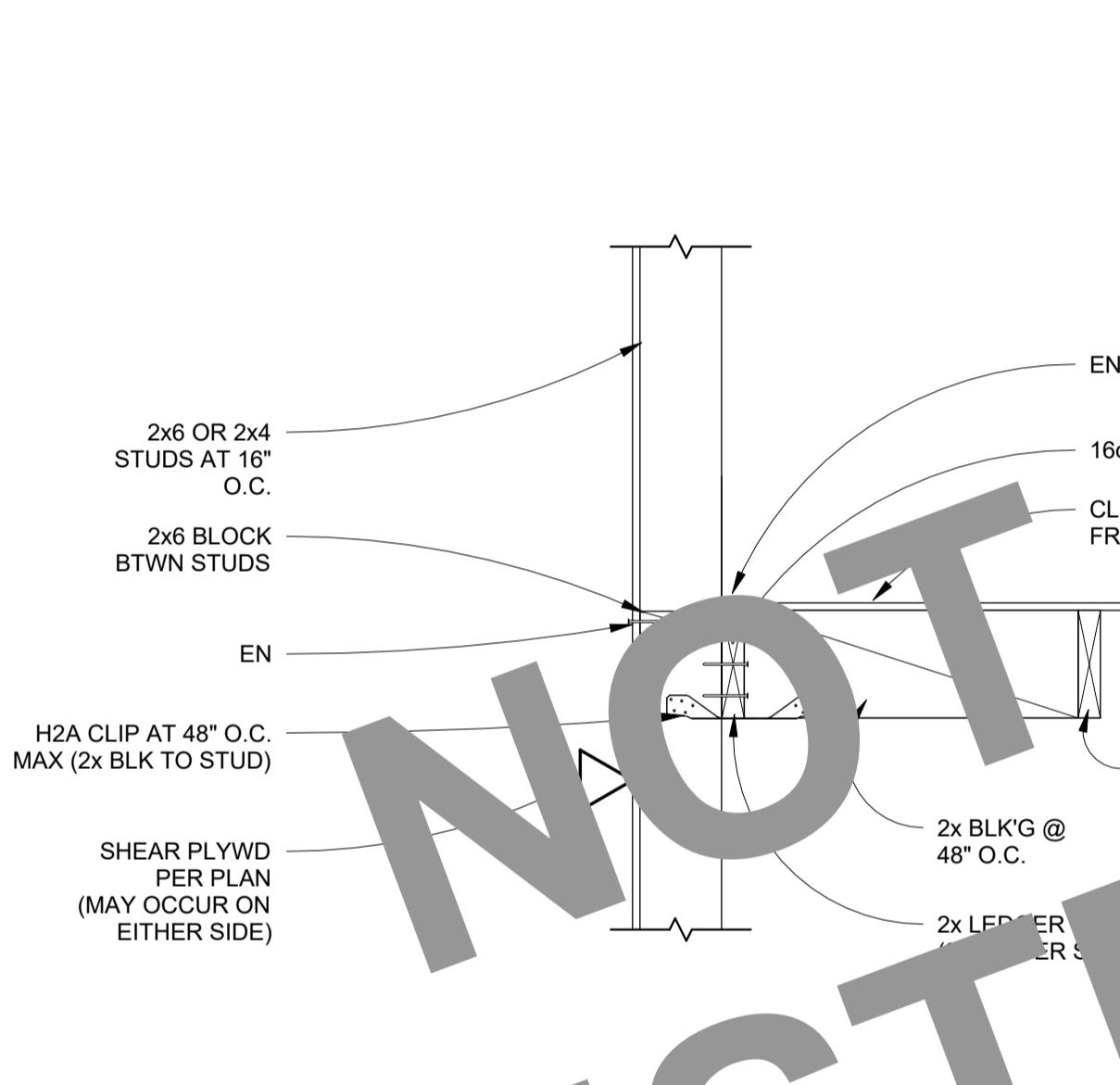
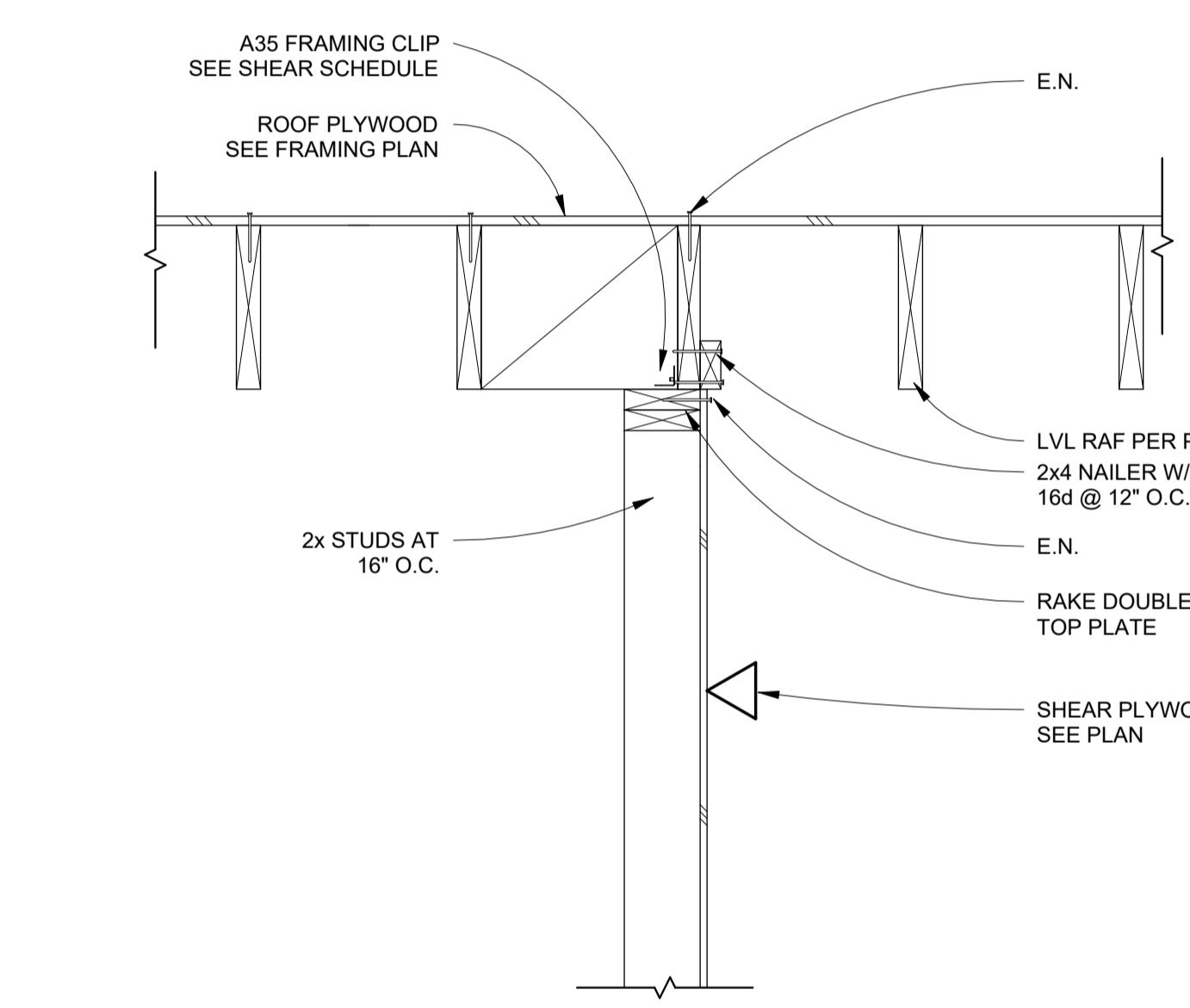


10 RAKE AT PORCH BM  
S2.1 3/4" = 1'-0"

7 SHEAR WALL AT PORCH WALL  
S2.1 3/4" = 1'-0"

4 TYP RIDGE  
S2.1 1 1/2" = 1'-0"

1 TYP RAKE  
S2.1 3/4" = 1'-0"

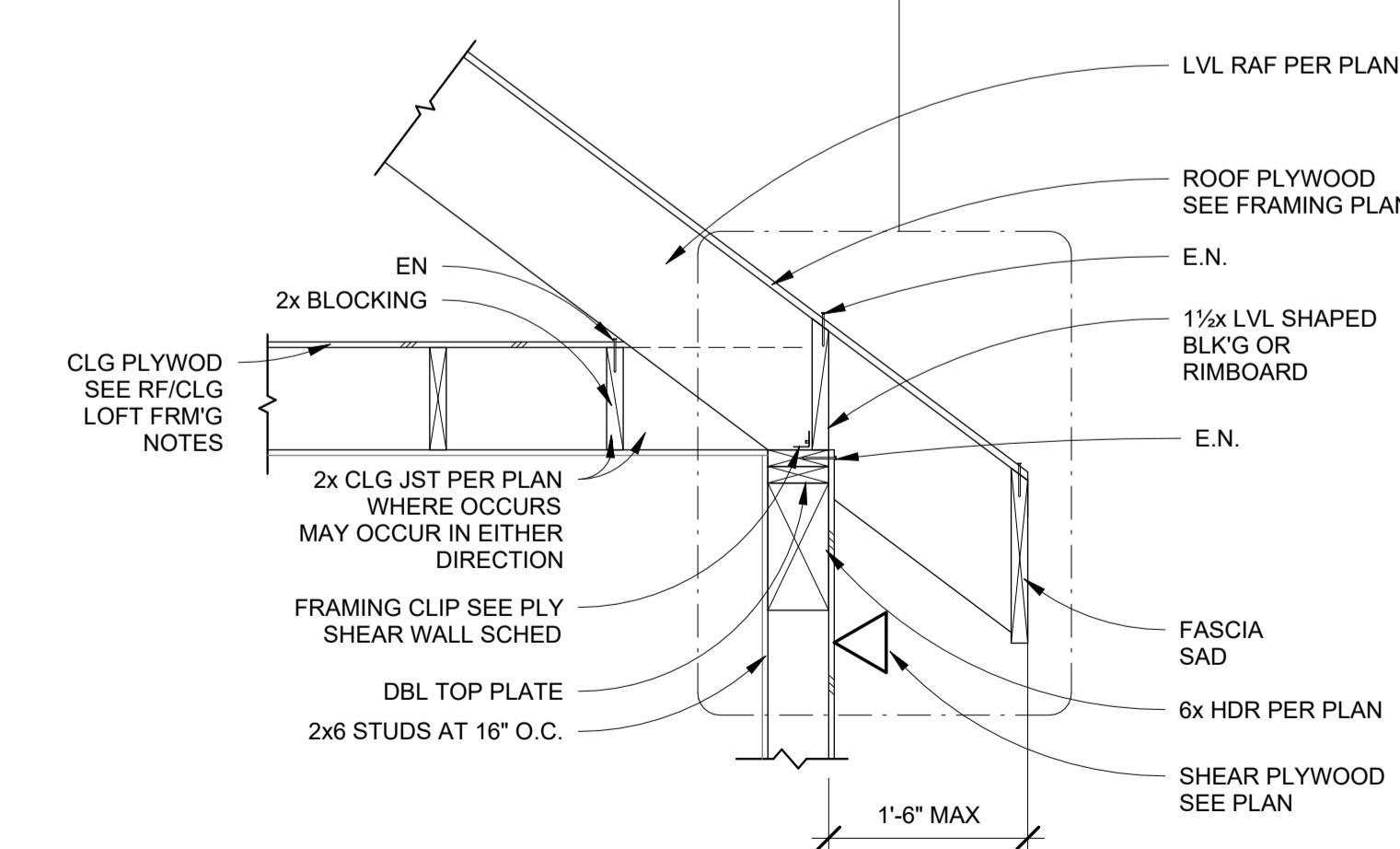
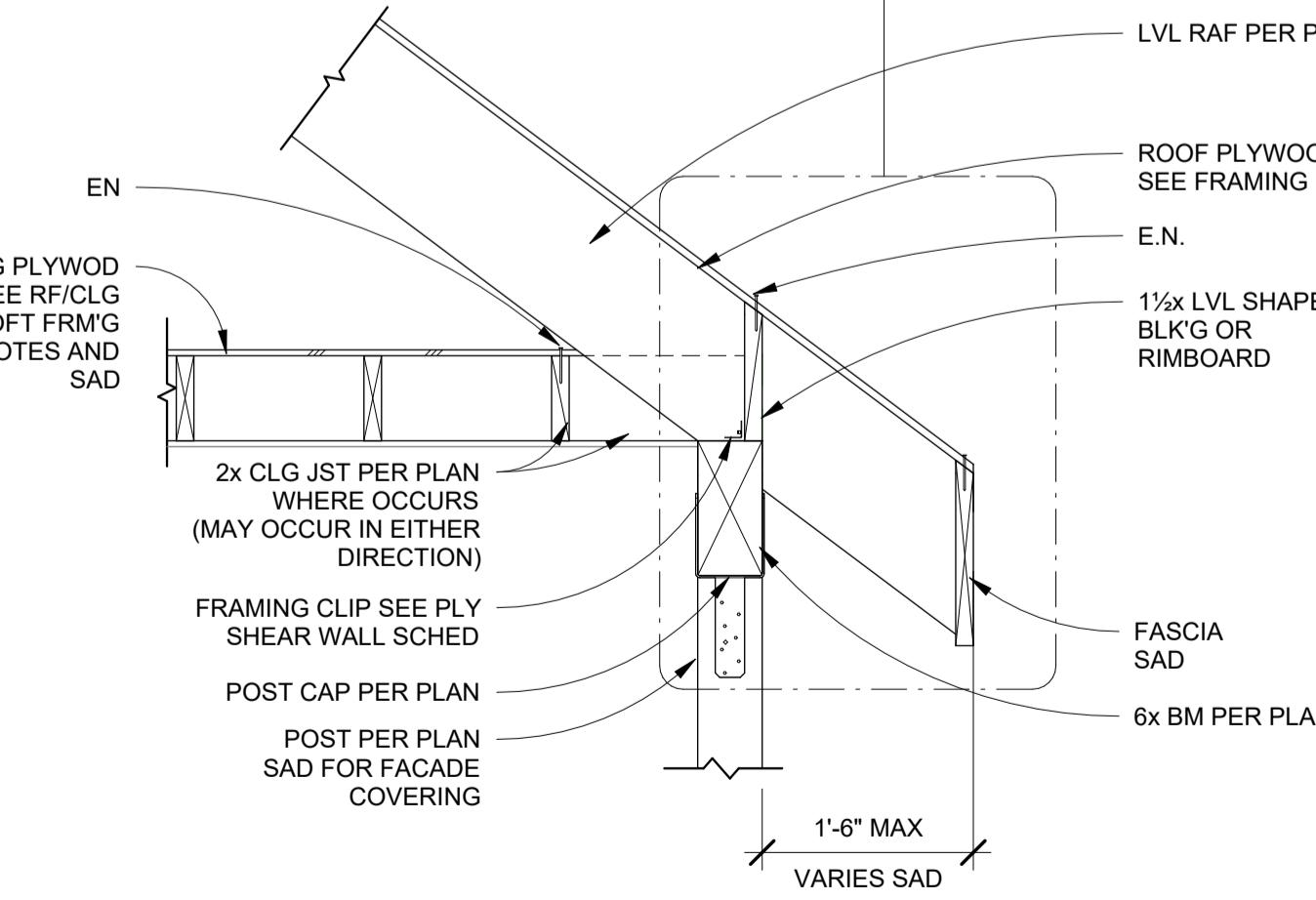
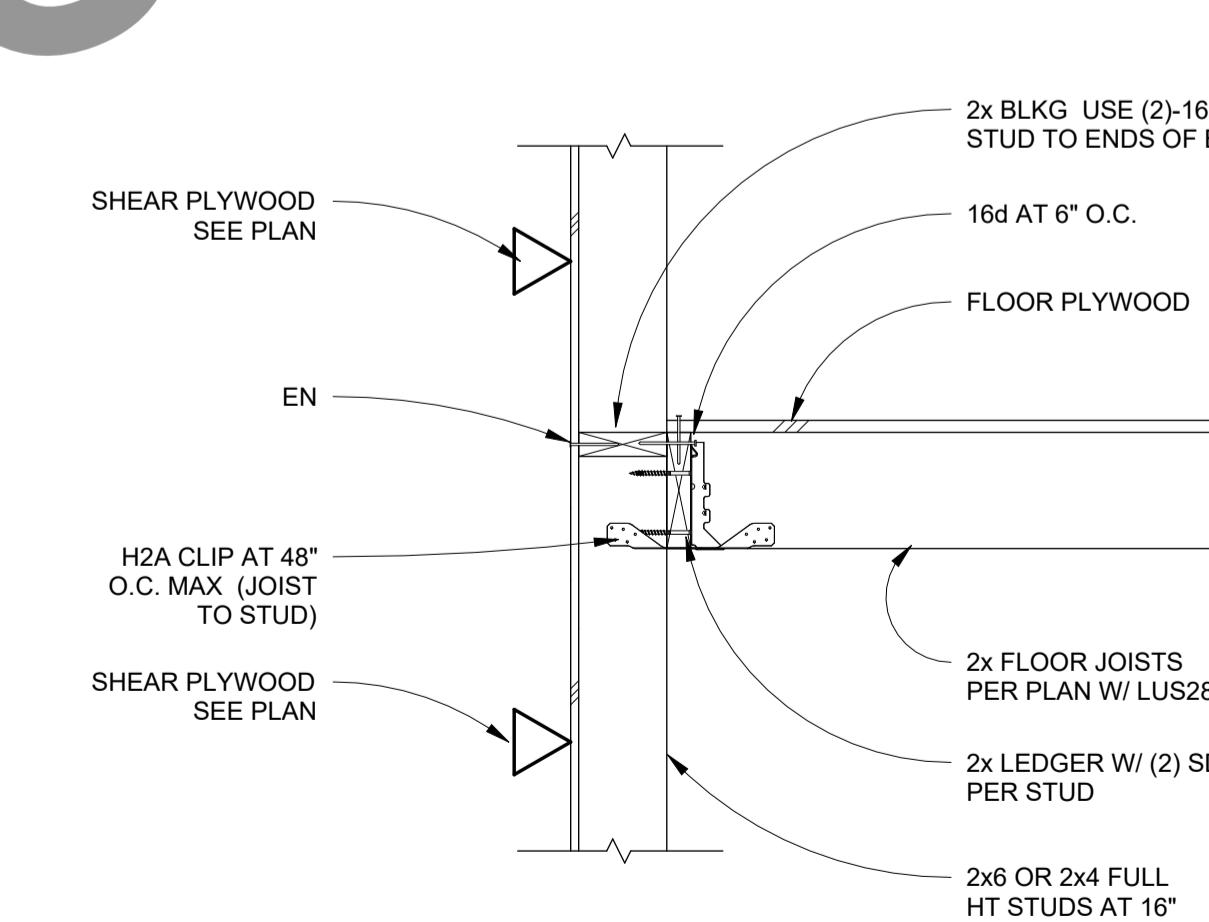
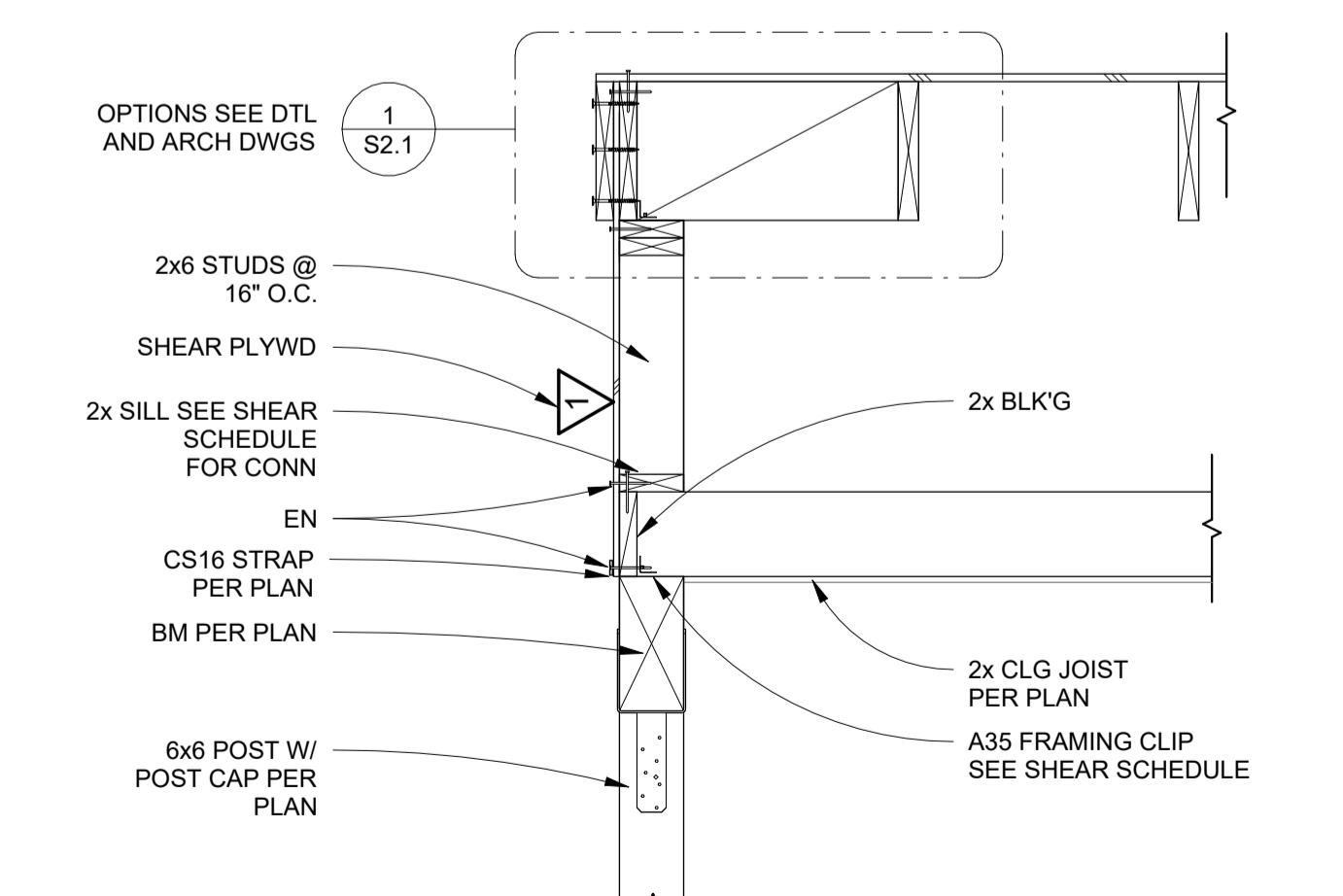


11 INTERIOR SHEAR WALL  
S2.1 1" = 1'-0"

8 LOFT/CLG TO WALL CONN I  
S2.1 1" = 1'-0"

5 RIDGE BEAM CONN TO POST AT WALL  
S2.1 1" = 1'-0"

2 TYP EAVE  
S2.1 3/4" = 1'-0"

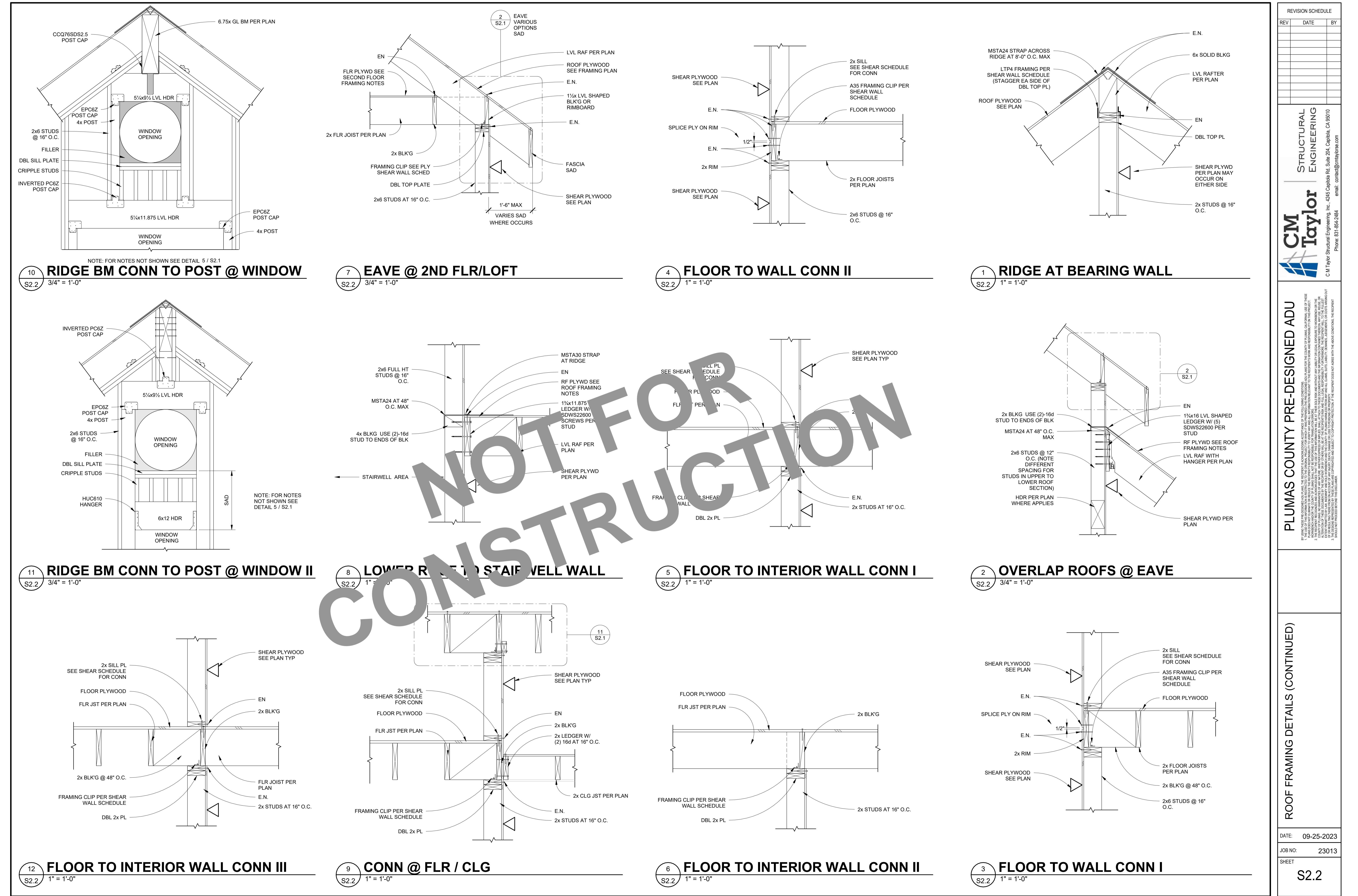


12 RAKE AT PORCH BM II  
S2.1 3/4" = 1'-0"

9 LOFT/CLG TO WALL CONN II  
S2.1 1" = 1'-0"

6 EAVE AT PORCH  
S2.1 3/4" = 1'-0"

3 TYP EAVE W/ CLG JOIST  
S2.1 3/4" = 1'-0"



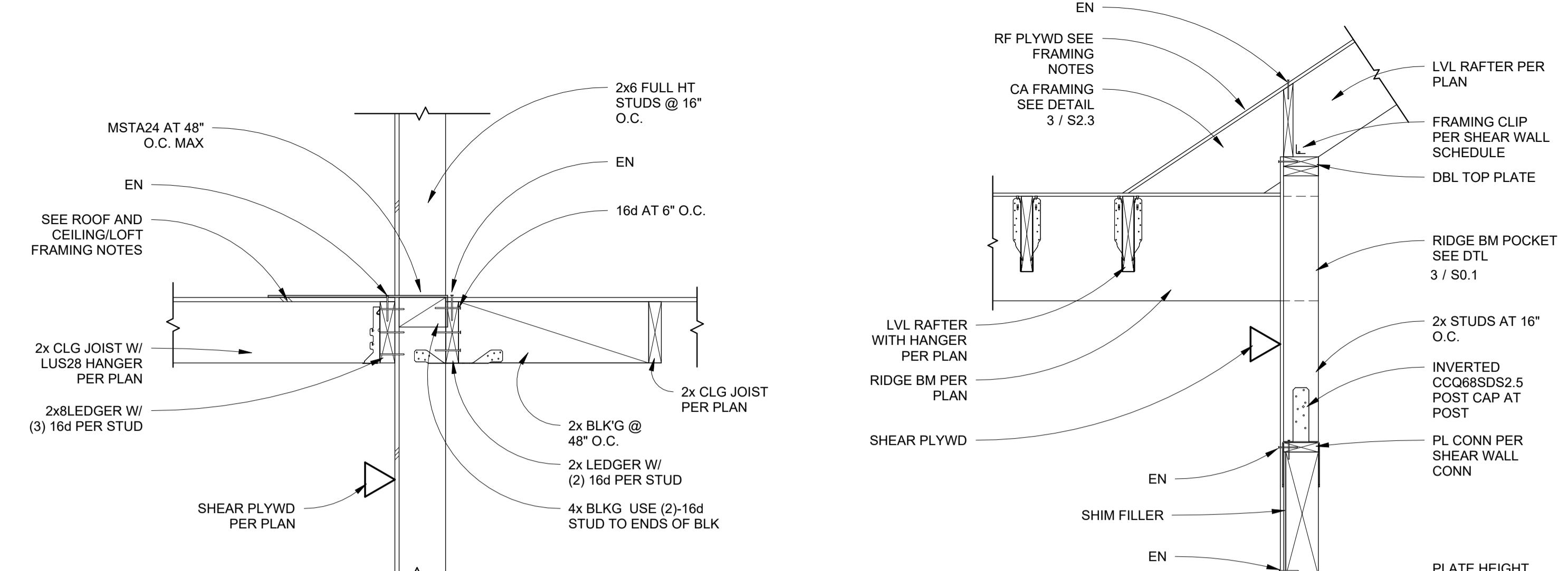
**NOT FOR CONSTRUCTION**

The diagram illustrates a wall section with the following details:

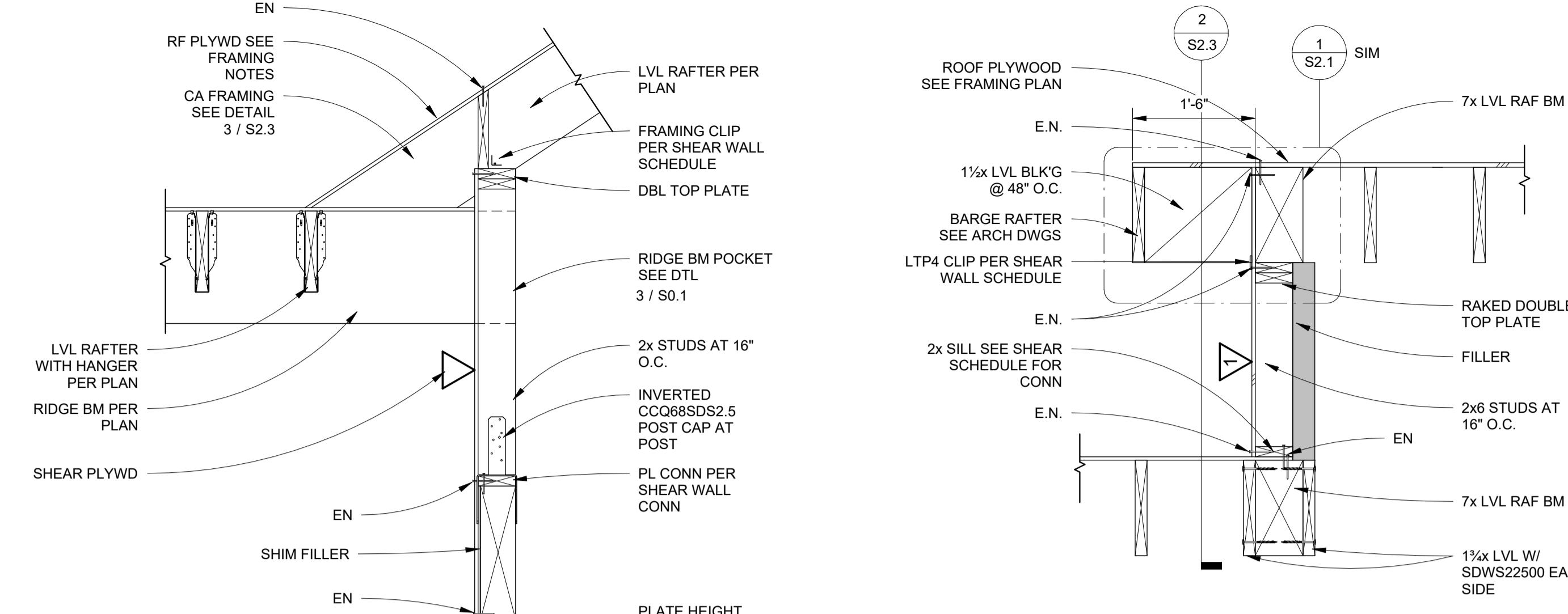
- Vertical studs are labeled "MSTA24 AT 48" O.C. MAX".
- Horizontal studs are labeled "4x BLKG USE (2)- STUD TO 1/2 OF BLK".
- Roofing is indicated with "SHEAR PLYWD PER PLAN".
- Roofing and ceiling/loft framing notes are indicated with "SHEAR PLYWD AND CEILING/LOFT FRAMING NOTES".
- Joists are labeled "2x CLG JOIST PER PLAN".
- Leapers are labeled "2x8 LEDGER W/ (3) 16d PER STUD".
- Roofing is indicated with "SHEAR PLYWD PER PLAN".

**CLG JOIST AT PORCH I**

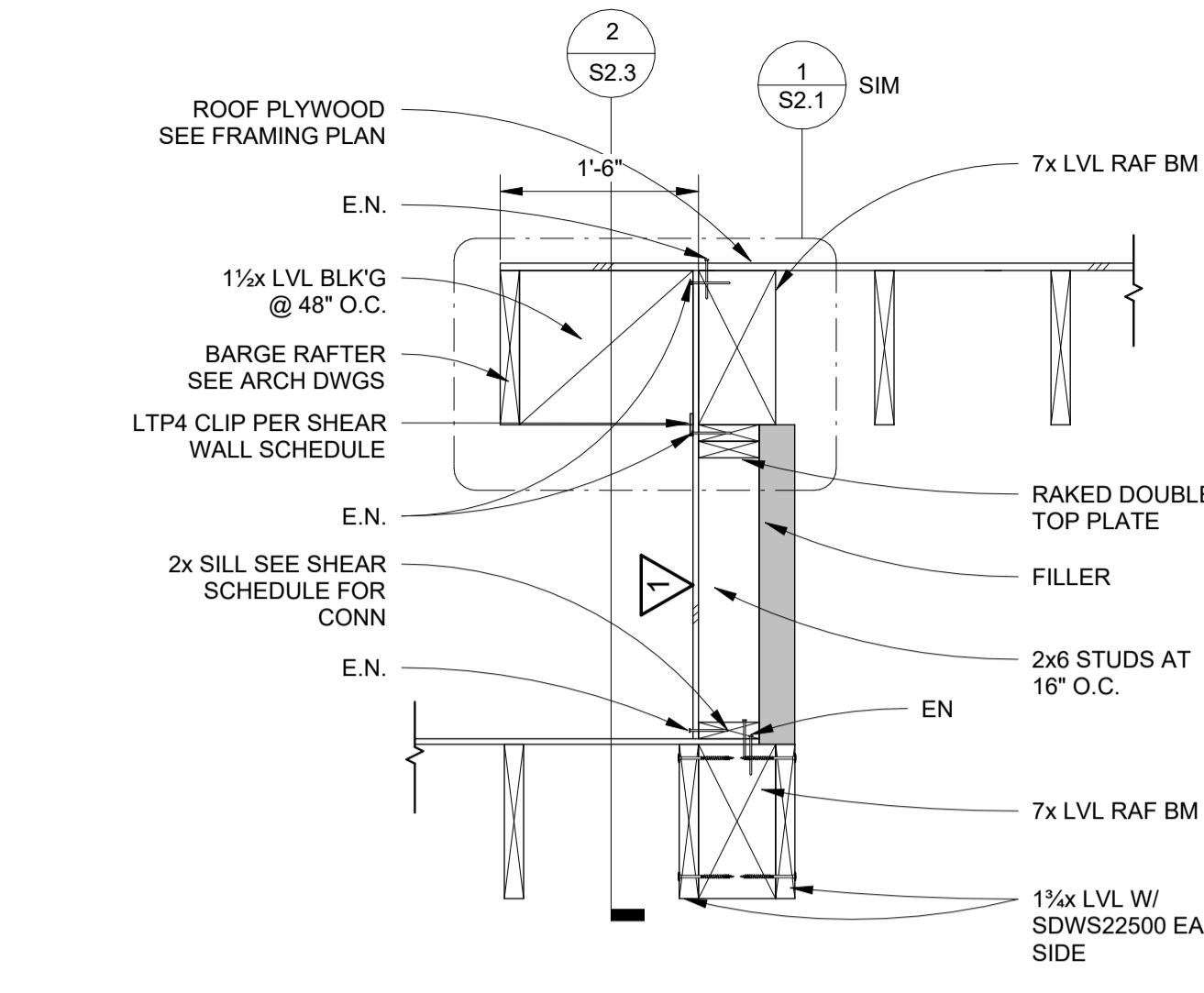
5  
S2.3  
1" = 1'-0"



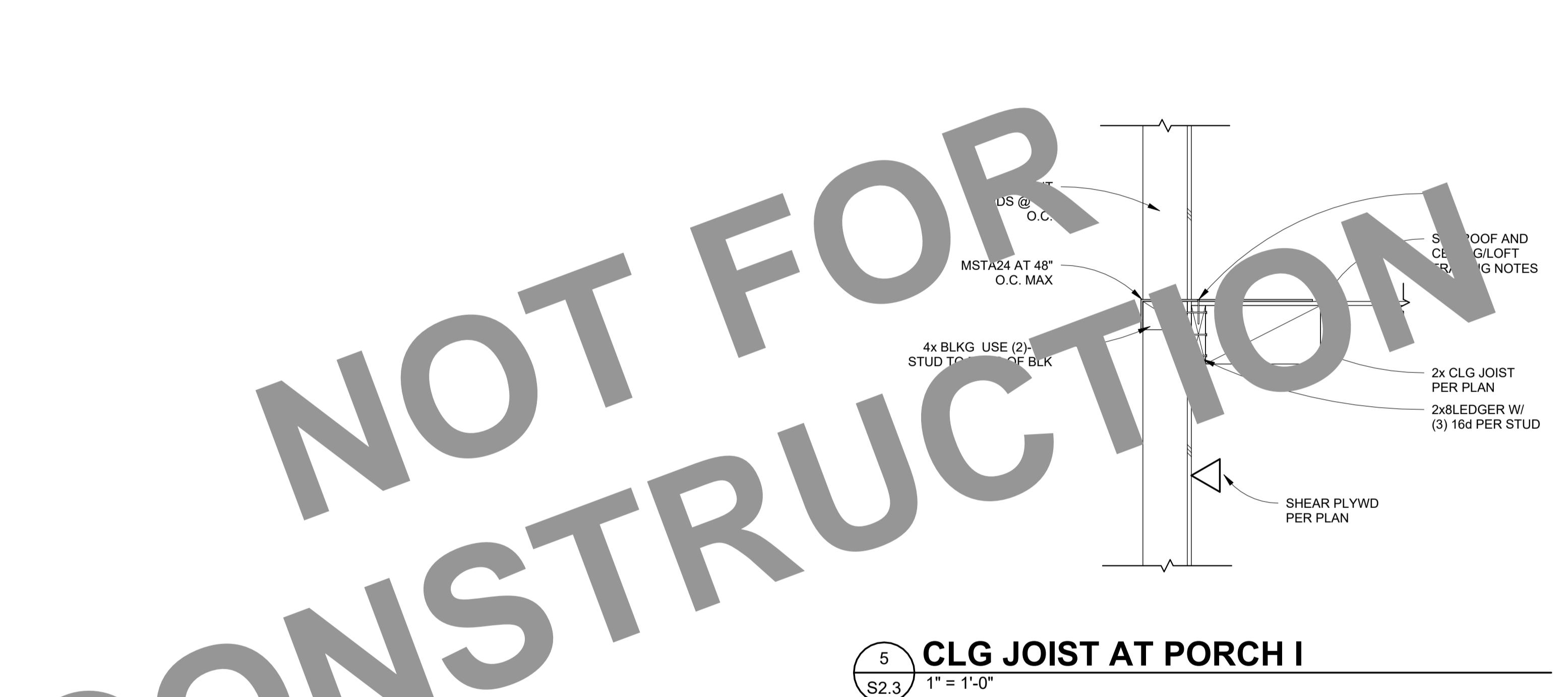
# CLG JOIST AT PORCH III



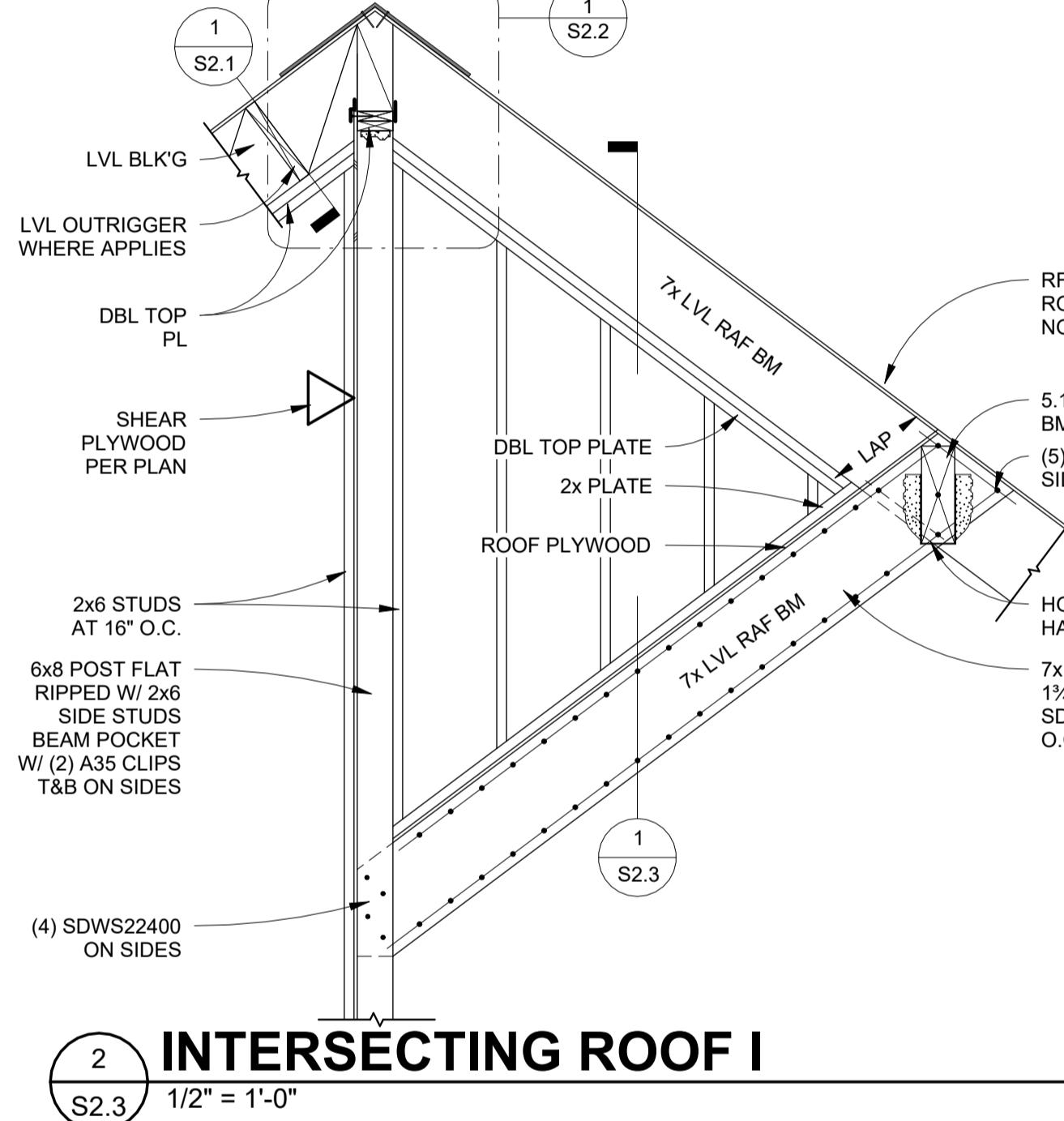
# DROPPED BEAM CONN



# RAKE AT INTERSECTING ROOF



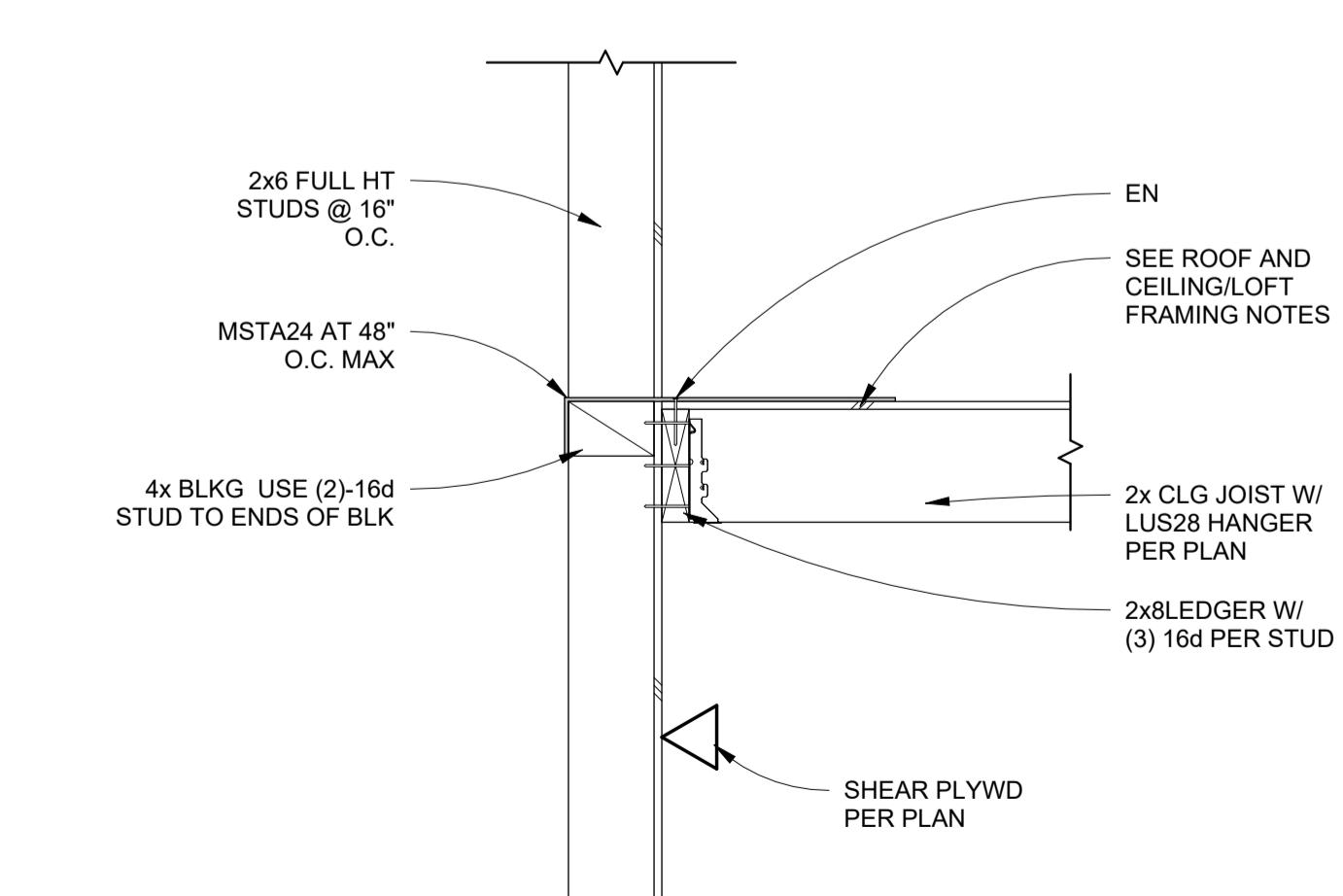
# CLG JOIST AT PORCH I



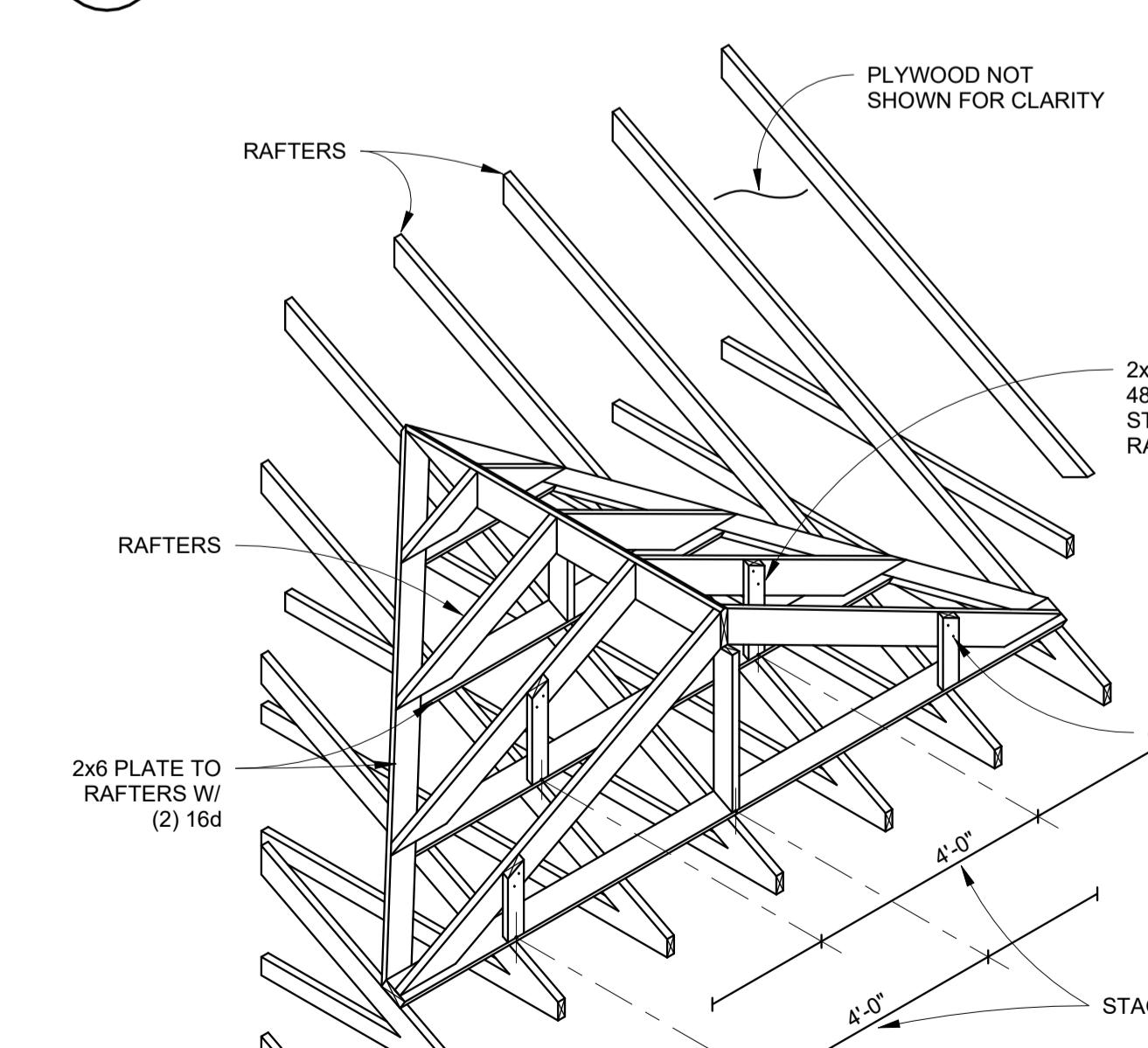


# INTERSECTING ROOF I

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# CLG JOIST AT PORCH II



# TYP CALIFORNIA FRAMING DETAIL

# SYMBOLS & ABBREVIATIONS (MECHANICAL)

	BT	BYPASS TIMER		EC	ELECTRICAL CONTRACTOR
	CL	CENTER LINE		EDB	ENTERING DRY BULB
	CD	CONDENSATE DRAIN		EOD	EXTENT OF DEMOLITION
	Ø	DIAMETER		ETR	EXISTING TO REMAIN
		EXHAUST, RETURN, SUPPLY AIR DUCT (EXISTING)		EWB	ENTERING WET BULB
		EXHAUST, RETURN, SUPPLY AIR DUCT (NEW)		EWT	ENTERING WATER TEMPERATURE
		EXTENT OF DEMOLITION		°F	DEGREES FAHRENHEIT
		EXHAUST DUCT UP, DOWN, PENE & DEMO		FC	FLEXIBLE CONNECTION
		FIRE/SMOKE DAMPER		FD	FIRE DAMPER
		FIRE DAMPER		FLA	FULL LOAD AMPS
		POINT OF CONNECTION		FSD	FIRE SMOKE DAMPER
		P/T PLUG		FT.HD.	FEET HEAD
		RETURN OR EXHAUST AIR		FTR	FLUE THRU ROOF
		RETURN DUCT UP, DOWN, PENE & DEMO		GC	GENERAL CONTRACTOR
	\$	SPEED CONTROL SWITCH		GPM	GALLONS PER MINUTE
	X	SPIN-IN EXTRACTOR/DAMPER		HP	HORSE POWER
		SUPPLY DUCT UP, DOWN, PENE & DEMO		KW	KILOWATTS
		SUPPLY OR OUTSIDE AIR		LBS	POUNDS
	T	THERMOSTAT at + 48"		LWT	LEAVING WATER TEMPERATURE
		TO BE REMOVED		MBH	1,000 BTU/HR
		TRANSFER AIR		MC	MECHANICAL CONTRACTOR
		TURNING VANES		(N)	NEW
		VOLUME DAMPER		NIC	NOT IN CONTRACT
	AD	ACCESS DOOR		NTS	NOT TO SCALE
	AFF	ABOVE FINISH FLOOR		OBD	OPPOSED BLADE DAMPER
	AL	ACOUSTICALLY LINED		OSA	OUTSIDE AIR
	AP	ACCESS PANEL		PC	PLUMBING CONTRACTOR
	BD	BALANCING DAMPER		PENE	PENETRATION
	BDD	BACKDRAFT DAMPER		PD	PRESSURE DROP
	BHP	BRAKE HORSE POWER		PH	PHASE
	BJ	BETWEEN JOIST		POC	POINT OF CONNECTION
	BTU	BRITISH THERMAL UNIT		P/N	PART NUMBER
	C.	CONDUIT		PRV	PRESSURE REDUCING VALVE
	CA	COMBUSTION AIR		PSI	POUNDS PER SQUARE INCH
	CD	CONDENSATE DRAIN		P/T	PRESSURE / TEMPERATURE
	CFM	CUBIC FEET PER MINUTE		RA	RETURN AIR
	DEMO	DEMOLITION		RAD	RETURN AIR DUCT
	DL	DOOR LOUVER		(RL)	RELOCATE
	(E)	EXISTING		RPM	REVOLUTIONS PER MINUTE
	EAD	EXHAUST AIR DUCT		SA	SUPPLY AIR
				SAD	SUPPLY AIR DUCT
				SD	SUPPLY DIFFUSER
				SP	STATIC PRESSURE
				SS	STAINLESS STEEL
				STD	STANDARD
				TV	TURNING VANES
				TYP	TYPICAL
				UCD	UNDERCUT DOOR
				UON	UNLESS OTHERWISE NOTED
				V	VOLT
				VD	VOLUME DAMPER
				VIF	VERIFY IN FIELD
				W/	WITH
				WC	WATER COLUMN
				WT	WEIGHT
				W/O	WITH OUT

## GENERAL MECHANICAL NOTES

1. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2022 CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, NATIONAL FIRE PROTECTION CODES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
2. LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES ARE DETAILED ON THE ARCHITECTURAL REFLECTED CEILING PLAN AND ROOM ELEVATIONS.
3. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
4. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
5. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
6. ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED, AND TESTED IN ACCORDANCE WITH THE APPLICABLE SMACNA STANDARDS.
7. ALL EXPOSED DUCTS TO BE PAINTED TO MATCH WALLS.
8. DUCTWORK SHALL BE INSULATED WITH 2" FIBERGLASS INSULATION AND ALL SERVICE JACKET. PROVIDE 1" ACOUSTICAL LINER WHERE SHOWN ON PLANS. DUCT DIMENSIONS ON PLANS ARE NET CLEAR INTERIOR.
9. MANUAL DAMPERS SHALL BE PROVIDED IN ALL DUCT BRANCHES TO INDIVIDUAL DIFFUSERS, GRILLES AND REGISTERS.
10. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
11. PIPES AND DUCTWORK SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
12. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
13. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
14. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
15. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
16. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
17. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. BOLTS SHALL CONFORM TO ASTM A-307. FABRICATION, ERECTION, WELDING AND PAINTING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.
18. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE PRE-DESIGN TO BID AND ACCESSORY DWELLING UNITS IN ACCORDANCE WITH THE 2022 EDITION OF THE 2022 CALIFORNIA BUILDING CODE OF REGULATIONS. SHOULD ANY CONDITION DEVELOP NOT CONTROLLED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SECTION 110 OF THE 2022 CALIFORNIA BUILDING CODE OF REGULATIONS, THE CONTRACT DOCUMENTS SHALL BE CHANGED OR DETAILED AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED AND APPROVED BY THE DESIGN TEAM BEFORE PROCEEDING WITH THE WORK.
19. ATTACHMENTS OF EQUIPMENT WEIGHING MORE THAN 200 LBS. AND SUPPORTED DIRECTLY FROM THE FLOOR OR ROOF STRUCTURE, FURNITURE, OR OTHER PROPERTY OR ATTACHMENTS. EQUIPMENT WEIGHING LESS THAN 20 LBS. THAT IS SUPPORTED BY AERATION, VENTILATOR DEVICES SUSPENDED FROM THE ROOF, WALL OR FLOOR NEED NOT BE DETAILED (SEE THE PLANS FOR CCR TITLE 24, PART 2, SECTION 7.1.25 EXCEPTION). HOWEVER, SUCH EQUIPMENT MUST BE SUPPORTED AND ANCHORED TO RESIST THE FORCES PRESCRIBED PER ASCE-7, CHAPTER 13 AS MODIFIED BY CBC 1613/1615 AND THE CONTRACTOR OR RECORD SHALL ASSURE THAT THE ABOVE REQUIREMENTS ARE ENFORCED.
20. DUCTWORK VISIBLE THROUGH DIFFUSERS AND REGISTERS SHALL BE PAINTED IN A SOLID, FLAT BLACK COLOR.
21. INSULATION MATERIAL SHALL MEET THE STATE QUALITY STANDARDS AS PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
22. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFORMATION REQUIREMENTS AS PER SECTION 118 CALIFORNIA ENERGY CODE (CEC).
23. ALL PIPING AND DUCTWORK SHALL BE INSULATED COMPATIBLE WITH THE REQUIREMENTS OF SECTION 110 OF THE 2022 CALIFORNIA BUILDING CODE AND TABLE E-7.1.25-10(11) OF THE MECHANICAL CODE.
24. ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTIONS 112 AND 122 CEC.
25. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTIONS 111-113, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 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# SYMBOLS & ABBREVIATIONS (PLUMBING)

	BALANCING COCK		AFF ABOVE FINISH FLOOR
	BALL VALVE		AP ACCESS PANEL
	CAP		BV BALL VALVE
	CHECK VALVE		CA COMPRESSED AIR PIPING
	CLEANOUT		CB CATCH BASIN
	DOMESTIC COLD WATER (EXISTING)		CD CONDENSATE
	DOMESTIC COLD WATER (NEW)		CFH CUBIC FEET PER HOUR
	DOMESTIC HOT WATER (EXISTING)		CI CAST IRON
	DOMESTIC HOT WATER (NEW)		CP CHROME PLATED
	DOMESTIC HOT WATER RETURN (EXISTING)		DCW DOMESTIC COLD WATER
	DOMESTIC HOT WATER RETURN (NEW)		DHW DOMESTIC HOT WATER
	DOMESTIC HOT WATER RETURN		DHWR DOMESTIC HOT WATER RETURN
	DOMESTIC HOT WATER (NEW)		DCV DETECTOR CHECK VALVE
	DOWN		DN DOWN
	DOWN SPOUT		DS DOWN SPOUT
	DRY STAND PIPE		DSP DRY STAND PIPE
	EXISTING		(E) EXISTING
	ELECTRICAL CONTRACTOR		EC ELECTRICAL CONTRACTOR
	ELEVATION		EL ELEVATION
	FIRE SPRINKLER PIPING		(F) FIRE SPRINKLER PIPING
	FLANGED UNION		FC FLEX CONNECTOR
	FLOOR DRAIN		FCO FLOOR CLEANOUT
	FLOOR SINK		FD FLOOR DRAIN
	FORCE MAIN		FL FIRE LINE
	GAS PIPING (EXISTING)		FM FORCE MAIN
	GAS PIPING (NEW)		FS FLOOR SINK
	GAS COCK		FSC FIRE SPRINKLER CONTRACTOR
	GATE VALVE		GC GENERAL CONTRACTOR
	GLOBE VALVE		GCO GROUND CLEANOUT
	HOSE BIBB (3/4" MIN.)		GPM GALLONS PER MINUTE
	PETES PLUG		HB HOSE BIBB
	PIPE (ABOVE THE CEILING)		HWS HOT WATER SUPPLY
	PIPE		IE: INVERT ELEVATION
	Pipe TURNING UP (RISE)		LAV LAVATORY
	Pipe TURNING DOWN (DROP)		MC MECHANICAL CONTRACTOR
	Pipe TURNING DOWN		NPW NON POTABLE WATER
	PRESSURE REDUCING VALVE		(N) NEW
	PRESSURE RELIEF VALVE		OFD OVERFLOW DRAIN
	POINT OF CONNECTION TO EXISTING		PC PLUMBING CONTRACTOR
	RAIN WATER LEADER (EXISTING)		PIV POST INDICATION VALVE
	RAIN WATER LEADER		POC POINT OF CONNECTION
	REDUCER		POD POINT OF DEMOLITION
	STORM DRAIN (EXISTING)		PP PETES PLUG
	STORM DRAIN (NEW)		PRV PRESSURE REDUCING VALVE
	TRAINER		PVC POLYVINYL CHLORIDE
	SOIL TAPPING		RD ROOF
	UNION		RPBFP REDUCED PRESSURE BENTONITE FLOOR
	VENT PIPING (EXISTING)		S SDR 11
	VENT PIPING (NEW)		SDR 11
	WASTE PIPING (EXISTING)		SS SDR 11
	(N) WASTE PIPING (NEW)		TP TRAP
	WASTE PIPING - UNDERGROUND (NEW)		V VENT
	WET STANDPIPE (EXISTING)		VIF VERIFY IN FIELD
	WET STANDPIPE (NEW)		VTR VENT THRU ROOF
	WATERHAMMER ARRESTOR (WHA)		W WASTE
	TRAP PRIMER (TP)		WC WATER CLOSET
	ACCESS PANEL		WCO WALL CLEANOUT
	BALL VALVE		WH WATER HEATER
	CAP		WHA WATER HAMMER ARRESTOR
	CHECK VALVE		WM WATER METER

## GENERAL PLUMBING NOTES

1. ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2022 CALIFORNIA PLUMBING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING THE CALIFORNIA ENERGY CONSERVATION STANDARDS OF TITLE 24.
2. LOCATION OF ALL ROOF OPENINGS AND THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT SUPPORTS ARE DETAILED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
3. PLATFORMS, CURBS AND FLASHING FOR EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS. COORDINATE THE EXACT SIZES OF REQUIRED OPENINGS AND SUPPORT FOR THE FURNISHED EQUIPMENT.
4. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, VALVES, AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
5. ALL EQUIPMENT, PIPING, AND OTHER DEVICES AND MATERIALS INSTALLED OUTSIDE THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
6. PIPES SHALL BE SUPPORTED AND BRACED PER SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS."
7. COORDINATE PLUMBING SYSTEMS WITH WORK OF OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
8. EXPOSED PIPING ALLOWED ONLY WHERE INDICATED. PROVIDE ESCUTCHEONS IN FINISHED AREAS.
9. MAINTENANCE LABEL SHALL BE AFFIXED TO ALL PLUMBING EQUIPMENT.
10. PROVIDE ROUGH-IN AND FINAL CONNECTIONS FOR EQUIPMENT PROVIDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EQUIPMENT.
11. PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED BY AN APPROVED MATERIAL AS PRESCRIBED IN CBC SECTION 714.
12. REFER TO STRUCTURAL DRAWING FOR LOCATIONS OF BEAMS, SHEAR WALLS AND MEMBERS. ALL DRILLING OF STRUCTURAL BEAMS AND MEMBERS TO BE COORDINATED WITH THE STRUCTURAL ENGINEER. ALL HOLES SHALL BE MINIMUM SIZE AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO DRILLING.
13. FIELD VERIFY LOCATION AND SIZE OF ALL EXISTING PIPING, DUCTWORK AND EQUIPMENT PRIOR TO FABRICATION OF ANY NEW WORK.
14. ALL WATER CLOSETS CONTROLS SHALL BE ON THE SIDE OF THE FIXTURE AWAY FROM THE WALL.
15. ALL FAUCET CONTROLS SHALL BE OPERABLE WITH THE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
16. PC SHALL PROVIDE CONCRETE INSERTS FOR HANGING PLUMBING EQUIPMENT, COORD. W/ GC.

USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE OWNING CONDITIONS

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# PLUMAS COUNTY PRE-DESIGNED ADU BUELLTON, CALIFORNIA

# TITLE SHEET

## MECHANICAL & PLUMBING

NO.	DESCRIPTION	DATE
1	.	.
2		
3		

ENGINEER BY

1000

DRAWN BY:

CHECKED BY:

SHEET NUMBER

ME

11

SHEET OF  
THE USE OF THESE PLANS

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OUTDOOR UNIT SCHEDULE													
CODE	MFR.	MODEL	EFFICIENCY	SEER	REFR.	V/P/H	MCA	MOP	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
OU-1	MITSUBISHI	MXZ-2C20NA4	20	R410A	208/I	17.2	20	126	27-15/16	TSTAT.	IU-I		
OU-2	MITSUBISHI	MXZ-3C24NA4	20	R410A	208/I	22.1	25	142	36-31/32	TSTAT.	IU-I,2		

ZAL  
ENGINEERING

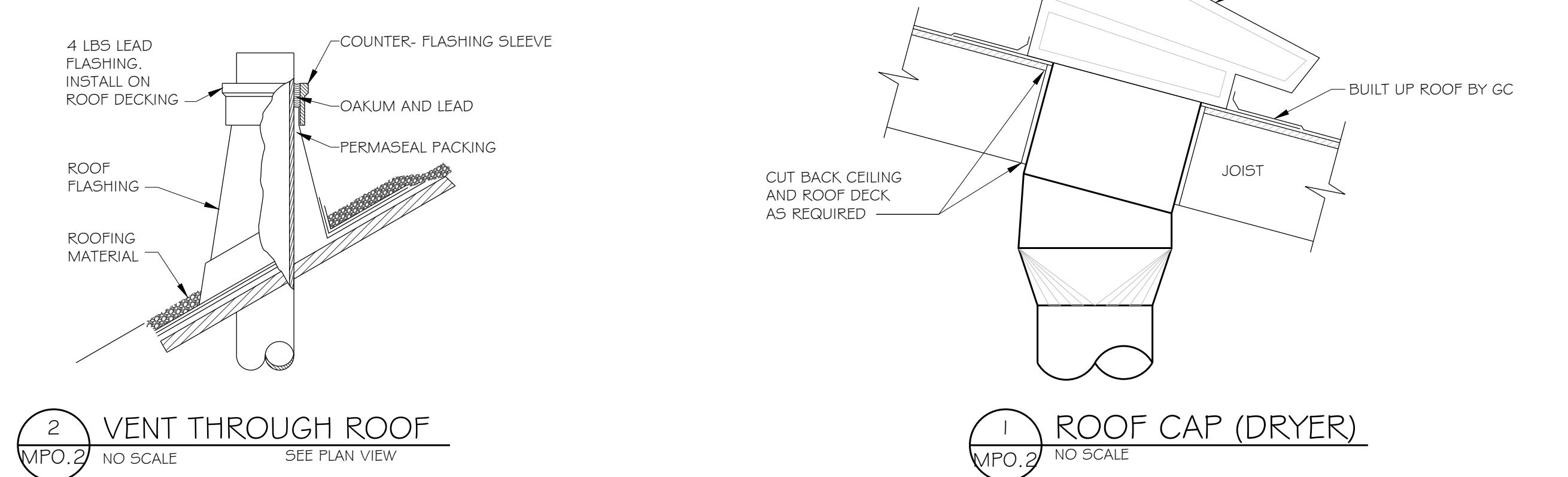
FAN/ENERGY RECOVER VENTILATOR SCHEDULE												
CODE	MFR	MODEL	CFM	ESP (in)	BHP	V/P/H	HT. W/O	WEIGHT	ISOLATORS (LBS)	AREAS SERVED	SONES	COMMENTS
ERV-1	PANASONIC	PV-10VEC2	100	0.4	8.1W	120/I	8-7/8"	56.9		BATHROOMS		I,2
EF-1	PANASONIC	PV-0511VFCL	80	0.25	9.4W	120/I	7"	9.5		TYPE C,D BATH	0.8	I

NOTES:  
1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT.  
2. PROVIDES WHOLE HOUSE VENTILATION. TO RUN 24/7.

PLUMBING FIXTURE SCHEDULE												
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)			LOCATION			REMARKS
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW			
HB-1	HOSE BIB	-	-	-	•	-	-	1/2	-	OUTSIDE	2.2 GPM	
CWB-1	CLOTHES WASHER	-	-	-	•	2	1 1/2	1/2	1/2	LAUNDRY	W/WHA	
SK-1	KITCHEN SINK	-	-	•	-	2	1 1/2	1/2	1/2	KITCHEN	1.8 GPM	
L-1	LAVATORY	-	-	-	•	2	1 1/2	1/2	1/2	BATHROOM	1.2 GPM	
BT-1	BATHTUB	-	•	-	-	2	1 1/2	-	-	BATHROOM	1.8 GPM SHOWERHEAD	
WC-1	WATER CLOSET	-	-	•	-	3	2	1	-	BATHROOM	1.25 GPM	

WATER HEATER SCHEDULE												
CODE	LOCATION	SERVICE	FUEL TYPE	TANK	GPH @ F	ELECTRICAL	WEIGHT	HEIGHT	PART	MFG	REMARKS	
			INPUT	CAPACITY	RISE	M.P.	VOLT	PH	(LBS)	(IN)	NO.	
EWH-1	STORAGE ROOM	DHW	2 KW	6	8.00	--	120	1	32	15.5	DEL G	A.O.SMITH
												FULL WEIGHT=

NOT FOR CONSTRUCTION



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99 PACIFIC ST, STE 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7739  
JOB NO. 23020.00

PLUMAS COUNTY  
PRE-DESIGNED ADU  
BUELLTON, CALIFORNIA

SCHEDULES  
DETAILS  
MECHANICAL &  
PLUMBING

NO.	DESCRIPTION	DATE
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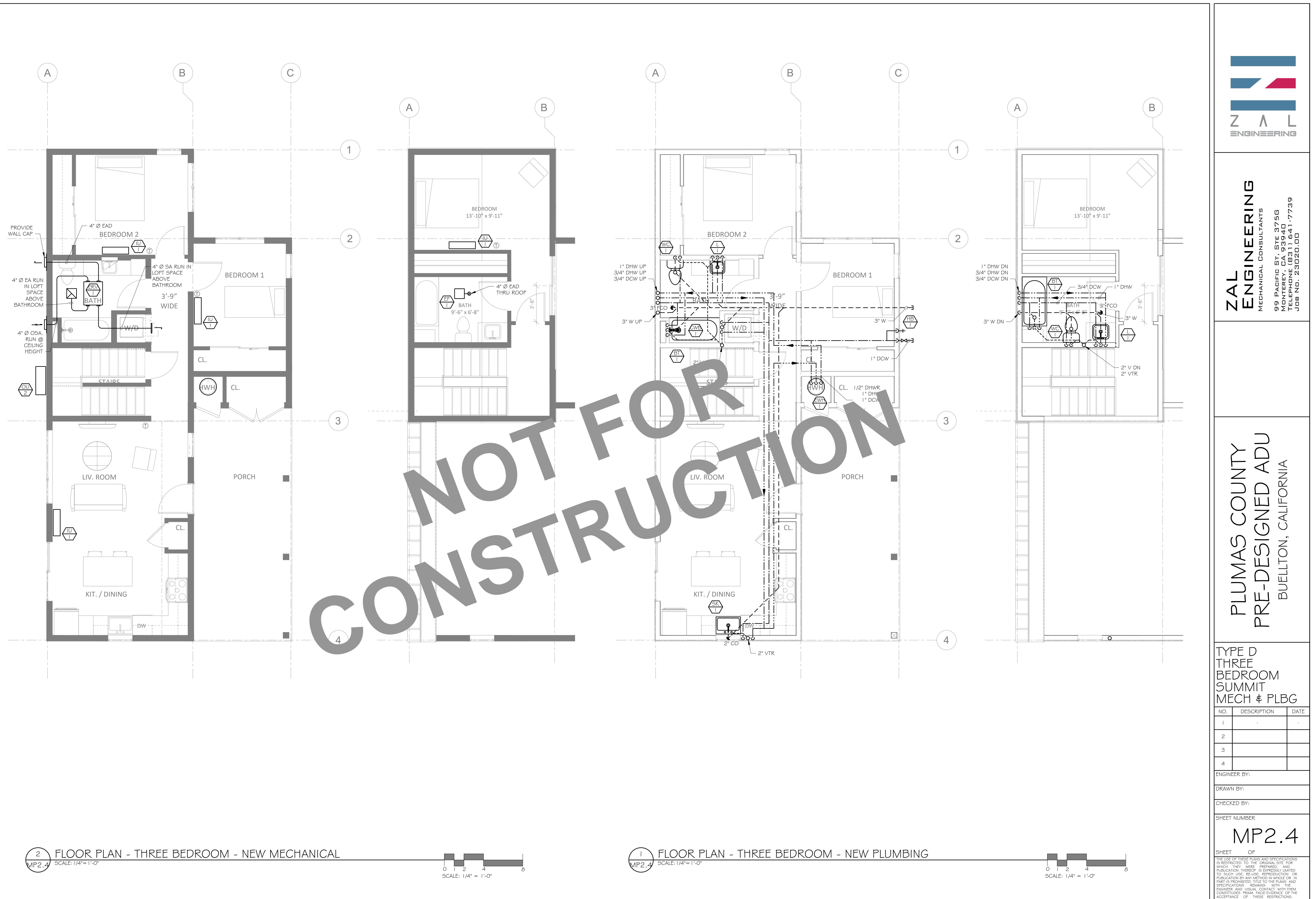
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**TYPE D**  
**THREE**  
**BEDROOM**  
**LAKESIDE**  
**MECH & PLBG**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

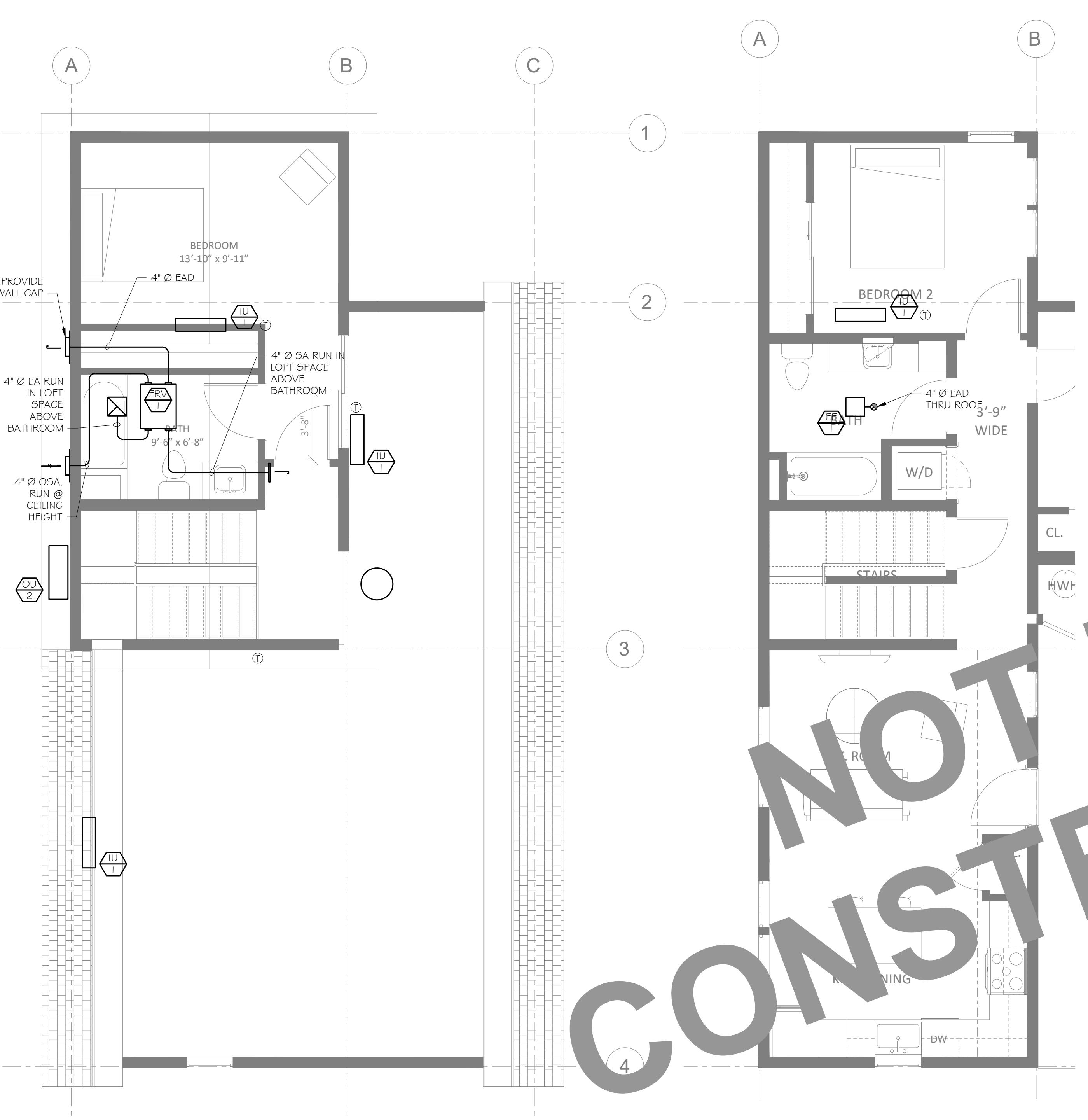
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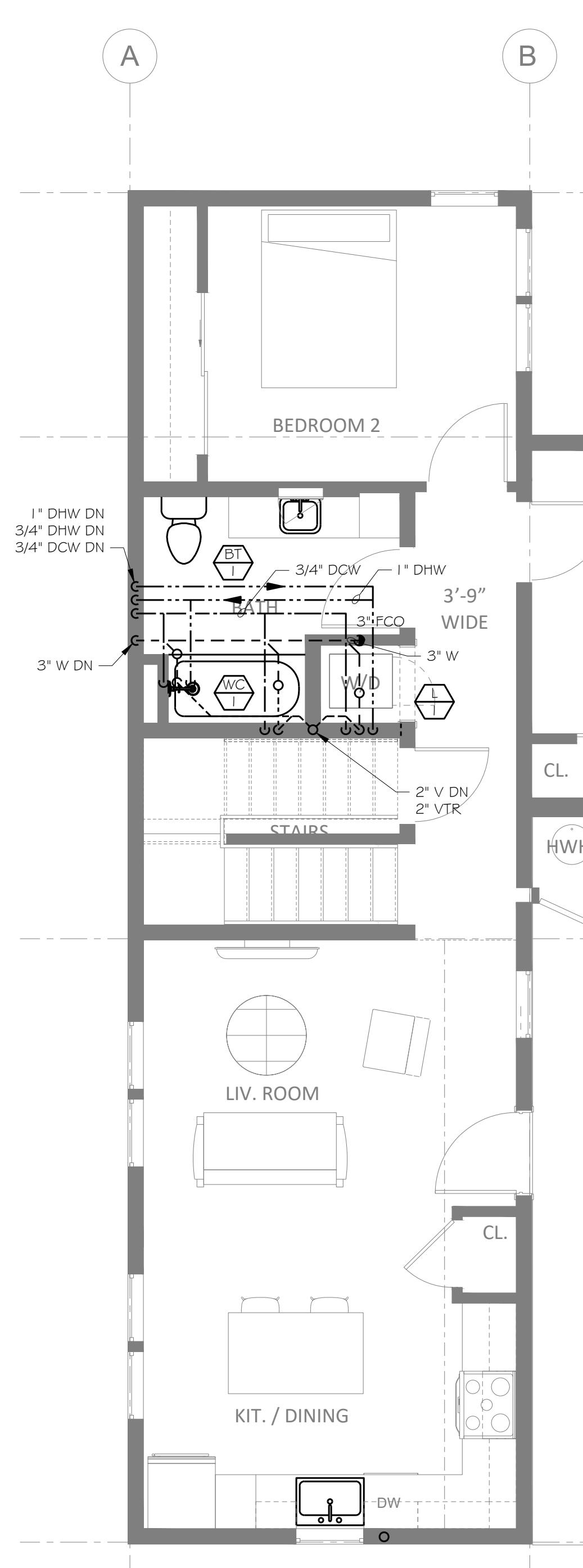


2 FLOOR PLAN - THREE BEDROOM - NEW MECHANICAL  
MP2.4 SCALE: 1/4" = 1'-0"

0 1 2 4 8  
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN - THREE BEDROOM - NEW PLUMBING  
MP2.4 SCALE: 1/4" = 1'-0"



0 1 2 4 8  
SCALE: 1/4" = 1'-0"



**ENGINEERING**  
MECHANICAL CONSULTANTS  
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LUVAJ COUNT  
PRE-DESIGNED ADU  
BUELLTON, CALIFORNIA

ED  
EE  
ROOM  
ADOW  
CH & PLBG

DESCRIPTION	DATA

BY:

BY:

BY:

## NUMBER

# MP2.4

OF  
THESE PLANS AND SPECIFICATIONS

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The image shows an architectural floor plan of a house. The layout includes a Living Room (LIV. ROOM) with a fireplace, a Kitchen/Dining area (KIT. / DINING) with a stove and oven, a central Dining Room, and a Porch. A staircase leads to an upper level. The plan is annotated with various symbols and labels: 'BT 1' and '2" VTR' at the top left; 'CL.' (Circular) and 'HWH' (Hot Water Heater) in the upper right; 'CL. 1/2" DHWR' and '1" DHW' and '1" DCW' in the middle right; 'SK 1' and 'DW' in the bottom right; and '2" CO' and '2" VTR' at the bottom. A large, bold, gray watermark reading 'NOT FOR CONSTRUCTION' is overlaid across the center of the plan. The number '3' is in a circle on the left, and the number '4' is in a circle at the bottom left.

This architectural cross-section diagram illustrates the internal structure and systems of a house. The diagram is labeled with points A, B, and C at the top corners.

**Key Labels and Components:**

- Bedrooms:** BEDROOM 2 and BEDROOM 1.
- Stairs:** STAIRS.
- Living Room:** LIV. ROOM.
- Kitchen/Dining:** KIT. / DINING.
- Porch:** PORCH.
- Plumbing:** DW (Drain Waste), W/D (Washing Machine/Dryer), ERV (Energy Recovery Ventilator) labeled BATH.
- HVAC:** 4" Ø EAD (Exhaust Air Duct) in BEDROOM 2, 4" Ø SA RUN IN LOFT SPACE ABOVE BATHROOM, 4" Ø EA RUN IN LOFT SPACE ABOVE BATHROOM, 4" Ø OSA (Outside Air) RUN @ CEILING HEIGHT, and various indoor units (IU) and terminals (T).
- Other:** A central circular duct, a sofa, a chair, a table, and a stove.

**Annotations:**

- Provide Wall Cap
- 4" Ø EAD
- BEDROOM 2
- IU T
- 4" Ø SA RUN IN LOFT SPACE ABOVE BATHROOM
- 3'-9" WIDE
- BEDROOM 1
- T IU
- 4" Ø EA RUN IN LOFT SPACE ABOVE BATHROOM
- 4" Ø OSA. RUN @ CEILING HEIGHT
- OU 2
- ERV BATH
- W/D
- STAIRS
- LIV. ROOM
- KIT. / DINING
- PORCH
- DW

This is an architectural floor plan of a house. The plan includes a bedroom (13'-10" x 9'-11"), a bathroom (9'-6" x 6'-8"), and a central area with a 4" Ø EAD THRU ROOF. The plan is labeled with sections A and B. A large, stylized watermark reading "NOT FOR CONSTRUCTION" is overlaid on the bottom half of the plan.

NOT FOR CONSTRUCTION

A

B

BEDROOM  
13'-10" x 9'-11"

4" Ø EAD THRU ROOF

BATH  
9'-6" x 6'-8"

1" DH  
3/4" DH  
3/4" DO

3" W

This architectural floor plan illustrates the layout of a house, featuring several rooms and various fixtures. The rooms include a Living Room, Kitchen/Dining area, Kit. / Dining, a central Bath, and two bedrooms, Bedroom 1 and Bedroom 2. The plan also shows a central corridor, a porch, and a central laundry area (CL.) with a washing machine (W/D). The plan includes detailed piping and fixture symbols, such as toilets (WC), sinks (L), and water heaters (HWH, EWH). Large, bold text 'OR' and 'SECTION' is overlaid across the central area of the plan. Reference points A, B, and C are marked at the top, and numbers 3 and 4 are marked on the right side.

**SECTION A-B**

**BEDROOM**  
13'-10" x 9'-11"

**Legend:**

- 1" DHW DN
- 3/4" DHW DN
- 3/4" DCW DN
- 3" W DN
- 2" V DN
- 2" VTR
- BT
- WC
- 3/4" DCW
- 1" DHW
- 3" FCO
- 3" W
- L

**Dimensions:**

- BEDROOM: 13'-10" x 9'-11"
- BATH: 9'-5" x 6'-8"
- Overall height: 3'-8"

2  
MP2.4 FLOOR PLAN - THREE BEDROOM - NEW MECHANICAL  
SCALE: 1/4" = 1'-0"

2 FLOOR  
MP2.4 SCALE: 1/4" = 1'-0"

1  
MP2.4 FLOOR PLAN - THREE BEDROOM - NEW PLUMBING  
SCALE: 1/4" = 1'-0"

**TYPE D**  
**THREE**  
**BEDROOM**  
**GOLDRUSH**  
**MECH & PLBG**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

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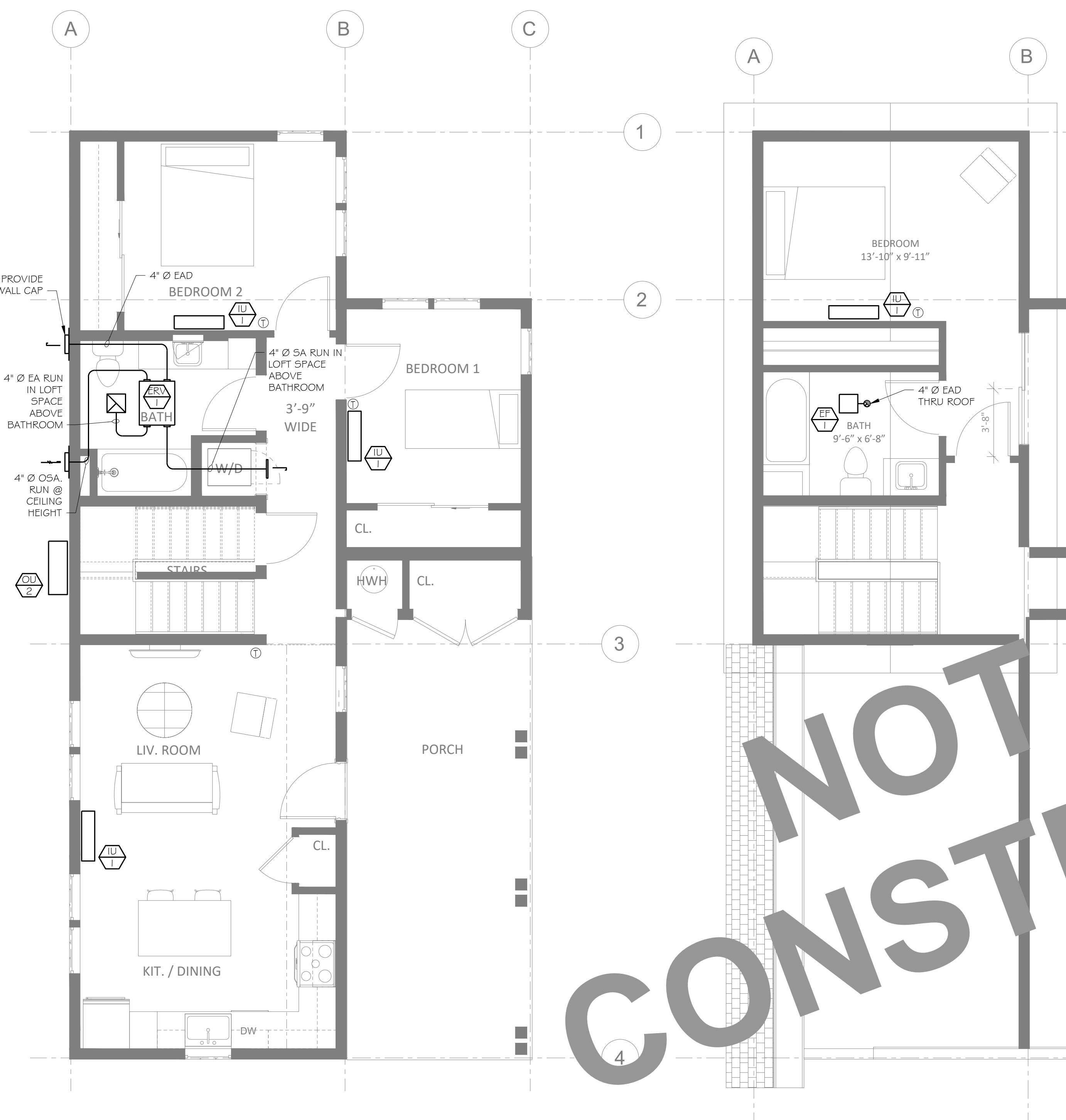
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**MP2.4**

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**CONTRACT FOR CONSTRUCTION**



2 FLOOR PLAN - THREE BEDROOM - NEW MECHANICAL

MP2.4

SCALE: 1/4" = 1'-0"

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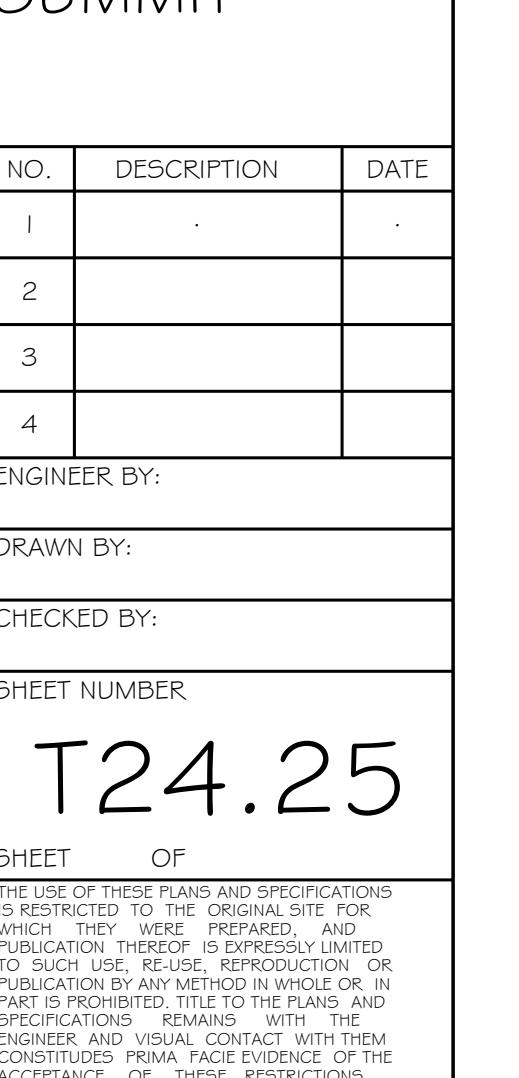
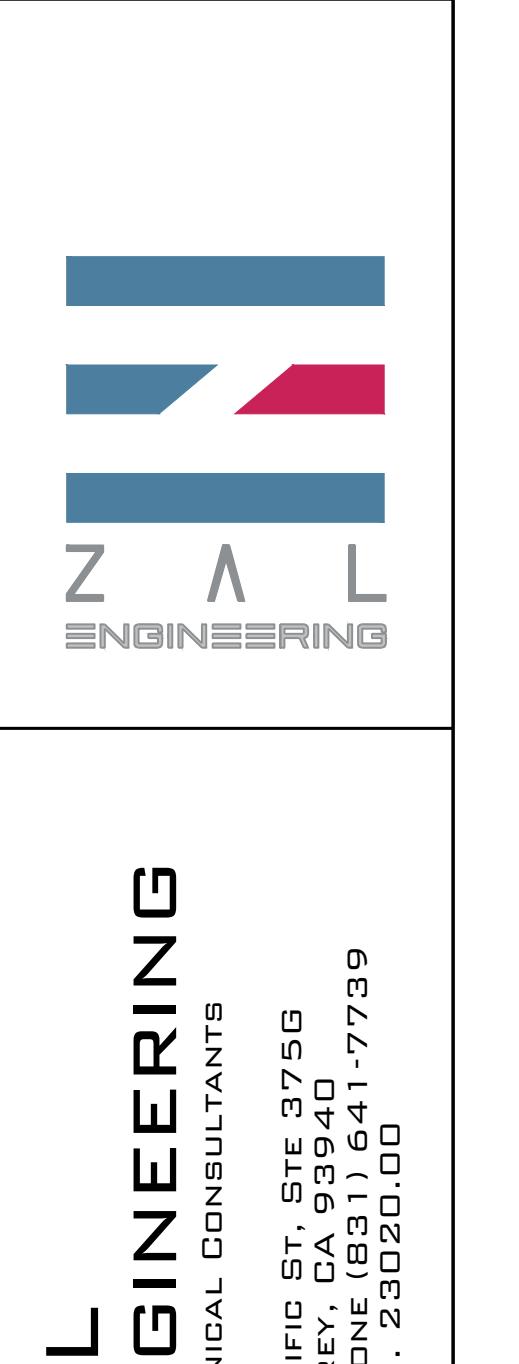
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SCALE: 1/4" = 1'-0"

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SCALE: 1/4" = 1'-0"

0 1 2 4 8



NO.	DESCRIPTION	DATE
1		
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**CONSTRUCTION FOR**

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD												
Project Name: Type D Summit												
Calculation Date/Time: 2023-09-23T01:01:44+02:00												
Input File Name: Type_D_Summit.rdb												
(Page 14 of 14)												
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT												
1. I certify that this Certificate of Compliance documentation is accurate and complete.												
Documentation Author Name: Jaime Zaldivar												
Company: ZAL Engineering												
Address: 99 Pacific St, Ste 375G												
City/State/Zip: Monterey, CA 93940												
Phone: 831-641-7739												
RESPONSIBLE PERSON'S DECLARATION STATEMENT												
1. I certify under penalty of perjury that the building design identified in this Certificate of Compliance documentation is in accordance with the applicable building codes and regulations.												
2. The building design features and systems identified in this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 2 of the California Building Energy Efficiency Standards.												
3. The building design features or systems identified in this Certificate of Compliance are consistent with the information provided in the applicable compliance documents, worksheets, and specifications.												
Responsible Person Signature: Jaime Zaldivar												
Date Signed: 2023-09-27 08:16:34												
Project Name: Type D Summit												
Calculation Date/Time: 2023-09-27 08:16:34												
Input File Name: Type_D_Summit.rdb												
(Page 13 of 14)												
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD												
Project Name: Type D Summit												
Calculation Date/Time: 2023-09-23T01:01:44+02:00												
Input File Name: Type_D_Summit.rdb22x												
(Page 10 of 14)												
SPACE CONDITIONING SYSTEMS												
01	02	03	04	05	06	07	08	09	10	11	12	
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type				
Undefined	Heat pump for cooling	Heat Pump System	1	Heat Pump System	1	n/a	n/a	Setback				
HEAT PUMPS - HERS VERIFICATION												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Efficiency Type	SEER / SEER2	EER / EER2	Zonally Controlled	Compressor Type	HERS Verification		
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF2	10	30600	21100	EER2SEER2	20	13.6	Not Zonal	Single Speed	Heat Pump System 1-herc-htpump
HVAC HEAT PUMPS - HERS VERIFICATION												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Efficiency Type	SEER / SEER2	EER / EER2	Zonally Controlled	Compressor Type	HERS Verification		
Heat Pump System 1-herc-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes	Yes			
INDOOR AIR QUALITY (IAQ) FANS												
01	02	03	04	05	06	07	08	09				
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Indoor Air Quality (W/CFM)	IAQ Recovery Effectiveness - SRE	Indoor Air Quality Recovery	Indoor Air Quality Recovery	Indoor Air Quality Recovery	HERS Verification			Status
Sfam IAQVentRpt 1-1	80	0.375	Balanced	Yes	83	No	Yes	Yes				
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Project Name: Type D Summit												
Calculation Date/Time: 2023-09-27 08:16:34												
Input File Name: Type_D_Summit.rdb22x												
(Page 10 of 14)												
OPAQUE SURFACE CONSTRUCTIONS												
01	02	03	04	05	06	07	08					
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers					
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-21	5 / None	0.048	Inside Finish: Gypsum Board Sheathing / Insulation: R-5 Sheathing Cavity / Frame: R-21 / 2x6 Exterior Finish: 3 Coat Stucco					
R-30 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-30	None / None	0.036	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding: 3 Coat Stucco Cavity / Frame: R-30 / 2x12 Inside Finish: Gypsum Board					
BUILDING ENVELOPE - HERS VERIFICATION												
01	02	03	04	05	06	07	08	09	10	11	12	13
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFMS50	CFMS50								
Not Required	Not Required	N/A	n/a	n/a								
WATER HEATING SYSTEMS												
01	02	03	04	05	06	07	08	09				
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)				
DHW Sys 1	Domestic Hot Water (DHW)	Demand Recirculation Sensor Controls	DHW Heater 1	1	n/a	Basic	n/a	DHW Heater 1 (1)				
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD												
Project Name: Type D Summit												
Calculation Date/Time: 2023-09-27 08:16:34												
Input File Name: Type_D_Summit.rdb												
(Page 12 of 14)												
WATER HEATING - HERS VERIFICATION												
01	02	03	04	05	06	07						
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery						
DHW Sys 1-1/1	Not Required	Not Required	Not Required	Basic	Not Required	Not Required						
Registration Number: 223-P016914704-000-0000000-0000												
Registration Date/Time: 2023-09-27 08:16:34												
HERS Provider: CalCERTS Inc.												
Report Version: 2022.0.000												
Schema Version: rev 20220901												
Report Generated: 2023-09-22 16:02:37												
Registration Number: 223-P016914704-000-0000000-0000												
Registration Date/Time: 2023-09-27 08:16:34												
HERS Provider: CalCERTS Inc.												
Report Version: 2022.0.000												
Schema Version: rev 20220901												
Report Generated: 2023-09-22 16:02:37												
Registration Number: 223-P016914704-000-0000000-0000												
Registration Date/Time: 2023-09-27 08:16:34												
HERS Provider: CalCERTS Inc.												
Report Version: 2022.0.000												
Schema Version: rev 20220901												
Report Generated: 2023-09-22 16:02:37												

NO.	DESCRIPTION	DATE
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD														
CF1R-PRF-01-E														
Project Name: Type D Lakeside														
Calculation Date/Time: 2023-09-23T00:51:35+02:00														
(Page 9 of 15)														
Input File Name: Type_D_Lakeside.rbd22x														
FENESTRATION / GLAZING														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	SHGC	SHGC Source	Exterior Shading		
Window 4	Window	Lateral 1 Wall	Left	90			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 5	Window	Lateral 1 Wall	Left	90			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 6	Window	Lateral 1 Wall	Left	90			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 7	Window	Lateral 2 Wall	Right	270	2.5	4	1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 8	Window	Front Wall	Front	0			1	6.25	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 9	Window	Lateral 1 Wall 2	Left	90			1	12.5	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 10	Window	Lateral 1 Wall 3	Left	90			1	6	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 11	Window	Rear Wall	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 12	Window	Lateral 2 Wall 2	Right	270			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 13	Window	Lateral 2 Wall 2	Right	270			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 14	Window	Rear Wall 2	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 15	Window	Rear Wall 2	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 16	Window	Lateral 2 Wall 3	Right	270			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 17	Window	Lateral 1 Wall 5	Left	90			1	12.5	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 18	Window	Lateral 1 Wall 6	Left	90			1	6	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 19	Window	Lateral 1 Wall 7	Front	0			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 20	Window	Rear Wall 3	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 21	Window	Rear Wall 3	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Registration Number: 223-P016591468A-000-0000000-0000														
Registration Date/Time: 2023-09-27 08:15:52														
HERS Provider: CalCERTS Inc.														
CA Building Energy Efficiency Standards - 2022 Residential Compliance														
Report Version: 2022.0.000														
Report Generated: 2023-09-22 15:52:36														
Schema Version: rev 20220901														

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD													
CF1R-PRF-01-E													
Project Name: Type D Lakeside													
Calculation Date/Time: 2023-09-23T00:51:35+02:00													
(Page 6 of 15)													
Input File Name: Type_D_Lakeside.rbd22x													
OPAQUE SURFACES - CATHEDRAL CEILINGS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Azimuth	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof			
Roof L1	Floor 1	R-30 Roof No Attic	90	Left	301.14	0	8	0.1	0.85	No			
Roof L1 2	Floor 1	R-30 Roof No Attic	90	Left	48.06	0	8	0.1	0.85	No			
Roof L2	Floor 1	R-30 Roof No Attic	270	Right	17.47	0	8	0.1	0.85	No			
Roof L2 2	Floor 1	R-30 Roof No Attic	270	Right	122.65	0	8	0.1	0.85	No			
Roof L2 3	Floor 1	R-30 Roof No Attic	270	Right	39.69	0	8	0.1	0.85	No			
Roof L3	Floor 1	R-30 Roof No Attic	90	Left	41.89	0	8	0.1	0.85	No			
Roof L4	Floor 1	R-30 Roof No Attic	270	Right	17.3	0	8	0.1	0.85	No			
Roof L5	Floor 1	R-30 Roof No Attic	90	Left	83.44	0	8	0.1	0.85	No			
FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	SHGC	SHGC Source	Exterior Shading	
Window	Window	Front Wall	Front	0			1	7.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Front Wall	Front	0			1	7.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Left	90			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Registration Number: 223-P016591468A-000-0000000-0000													
Registration Date/Time: 2023-09-27 08:15:52													
HERS Provider: CalCERTS Inc.													
CA Building Energy Efficiency Standards - 2022 Residential Compliance													
Report Version: 2022.0.000													
Report Generated: 2023-09-22 15:52:36													
Schema Version: rev 20220901													

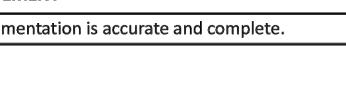
  

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD													
CF1R-PRF-01-E													
Project Name: Type D Lakeside													
Calculation Date/Time: 2023-09-23T00:51:35+02:00													
(Page 5 of 15)													
Input File Name: Type_D_Lakeside.rbd22x													
ZONE INFORMATION													
01	02	03	04	05	06	07							
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Status							
Floor 1	Conditioned	Undefined System1	1059.65	8	DHW Sys 1	New							
OPAQUE SURFACES													
01	02	03	04	05	06	07	08						
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft <sup>2</sup> )	Tilt (deg)						
Front Wall	Floor 1	R-21 Wall	0	Front	171.67	15	90						
Lateral 1 Wall	Floor 1	R-21 Wall	90	Left	174.67	40	90						
Lateral 2 Wall	Floor 1	R-21 Wall	270	Right	174.67	30	90						
Front Wall 2	Floor 1	R-21 Wall	0	Front	74.29	6.25	90						
Lateral 1 Wall 2	Floor 1	R-21 Wall	90	Left	40.67	6	90						
Lateral 1 Wall 4	Floor 1	R-21 Wall	0	Front	82	0	90						
Rear Wall	Floor 1	R-21 Wall	180	Back	110.67	10	90						
Lateral 2 Wall 2	Floor 1	R-21 Wall	270	Right	67.33	20	90						
Lateral 2 Wall 3	Floor 1	R-21 Wall	270	Right	104	10	90						
Front Wall 3	Floor 1	R-21 Wall	0	Front	11.47	0	90						
Lateral 1 Wall 5	Floor 1	R-21 Wall	90	Left	74	12.5	90						
Lateral 1 Wall 6	Floor 1	R-21 Wall	90	Left	40	6	90						
Lateral 1 Wall 7	Floor 1	R-21 Wall	0	Front	96.67	10	90						
Rear Wall 3	Floor 1	R-21 Wall	180	Back	148.34	20	90						
Lateral 2 Wall 4	Floor 1	R-21 Wall	270	Right	136	51.57	90						
Registration Number: 223-P016591468A-000-0000000-0000													
Registration Date/Time: 2023-09-27 08:15:52													
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NOT FOR CONSTRUCTION

<p><b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b> Project Name: Type D Lakeside Calculation Date/Time: 2023-09-23T00:51:35+02:00 Calculation Description: Title 24 Analysis</p> <p><b>DOCUMENTATION AUTHOR'S DECLARATION STATEMENT</b> 1. I certify that this Certificate of Compliance documentation is accurate and complete. Documentation Author Name: Jaime Zaldivar Documentation Author Signature:  Company: ZAL Engineering Signature Date: 2023-09-27 08:15:52 Address: 99 Pacific St, Ste 375G City/State/Zip: Monterey, CA 93940 Phone: 831-641-7739 CEA HERS Certification Identification (if applicable): M37306</p> <p><b>RESPONSIBLE PERSON'S DECLARATION STATEMENT</b> I certify the following under penalty of perjury, under the laws of the State of California: 1. The building design features and system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.</p> <p>Responsible Person Name: Jaime Zaldivar Responsible Designer Signature:  Company: ZAL Engineering Signature Date: 2023-09-27 08:15:52 Address: 99 Pacific St, Ste 375G Phone: 831-641-7739 License: M37306 City/State/Zip: Monterey, CA 93940 Phone: 831-641-7739</p> <p>Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.</p> <p>Registration Number: 223-P016591468A-000-000-00000-0000 Registration Date/Time: 2023-09-27 08:15:52 HERS Provider: CalCERTS Inc. 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O. C.</td><td>R-21</td><td>4 / None</td><td>0.051</td><td>Inside Finish: Gypsum Board Sheathing / Insulation: R-4 Sheathing Cavity / Frame: R-21 / 2x6 Exterior Finish: 3 Coat Stucco</td> </tr> <tr> <td>R-30 Roof No Attic</td><td>Cathedral Ceilings</td><td>Wood Framed Ceiling</td><td>2x12 @ 16 in. O. C.</td><td>R-30</td><td>None / None</td><td>0.033</td><td>Roofing: Light Roof (Asphalt Shingle) Roof Sheathing: OSB Side Wall Sheathing/Decking: Radiant Barrier Cavity / Frame: R-30 / 2x12 Inside Finish: Gypsum Board</td> </tr> </tbody> </table> <p><b>BUILDING ENVELOPE - HERS VERIFICATION</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>01</th><th>02</th><th>03</th><th>04</th><th>05</th> </tr> </thead> <tbody> <tr> <td>Quality Insulation Installation (QI)</td><td>High R-value Spray Foam Insulation</td><td>Building Envelope Air Leakage</td><td>CFM50</td><td>CFM50</td> </tr> <tr> <td>Not Required</td><td>Not Required</td><td>N/A</td><td>n/a</td><td>n/a</td> </tr> </tbody> </table> <p><b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b> Project Name: Type D Lakeside Calculation Date/Time: 2023-09-23T00:51:35+02:00 Calculation Description: Title 24 Analysis</p> <p><b>SLAB FLOORS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>01</th><th>02</th><th>03</th><th>04</th><th>05</th><th>06</th><th>07</th><th>08</th> </tr> </thead> <tbody> <tr> <td>Name</td><td>Zone</td><td>Area (ft<sup>2</sup>)</td><td>Perimeter (ft)</td><td>Edge Insul. 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Status	SFam IAQVentRpt 1-1	80	0.375	Advanced	Yes	83	No	No	Yes	01	02	03	04	05	06	07	08	09	Name	System Type	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery			DHW Sys 1	1-1	No	Not Required	Not Required	Basic	Not Required	Not Required		01	02	03	04	05	06	07	08	09	Name	System Type	Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type	Unitary System	Heat Pump	Heat Pump System	1	Heat Pump System	1	n/a	n/a	Setback	01	02	03	04	05	06	07	08	09	10	11	12	13	Name	System Type	Number of Units	Efficiency Type	HSF1 / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER1 / SEER2	EER1 / CEER	Zonally Controlled	Compressor Type	HERS Verification	Heat Pump System 1	Ductless MiniSplit HP	1	HSPF2	10	30600	21000	EER2SEER2	20	13.6	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump	01	02	03	04	05	06	07	08	09	Name	Verified Airflow	Airflow Target	Verified EER/ER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF1/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17	Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	Yes	Yes	Yes	01	02	03	04	05	06	07	08	Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Slab-on-Grade 5	Floor 1	122.65	22.42	none	0	80%	No	Slab-on-Grade 6	Floor 1	60.35	5.08	none	0	80%	No	Slab-on-Grade 7	Floor 1	141	32.5	none	0	80%	No	01	02	03	04	05	06	07	08	Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers	R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-21	4 / None	0.051	Inside Finish: Gypsum Board Sheathing / Insulation: R-4 Sheathing Cavity / Frame: R-21 / 2x6 Exterior Finish: 3 Coat Stucco	R-30 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O. C.	R-30	None / None	0.033	Roofing: Light Roof (Asphalt Shingle) Roof Sheathing: OSB Side Wall Sheathing/Decking: Radiant Barrier Cavity / Frame: R-30 / 2x12 Inside Finish: Gypsum Board	01	02	03	04	05	Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50	Not Required	Not Required	N/A	n/a	n/a	01	02	03	04	05	06	07	08	Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Slab-on-Grade	Floor 1	301.14	57.5	none	0	80%	No	Slab-on-Grade 2	Floor 1	144.07	6.92	none	0	80%	No	Slab-on-Grade 3	Floor 1	65.76	5.83	none	0	80%	No	Slab-on-Grade 4	Floor 1	141	32.5	none	0	80%	No	01	02	03	04	05	06	07	08	Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Slab-on-Grade	Floor 1	301.14	57.5	none	0	80%	No	Slab-on-Grade 2	Floor 1	144.07	6.92	none	0	80%	No	Slab-on-Grade 3	Floor 1	65.76	5.83	none	0	80%	No	Slab-on-Grade 4	Floor 1	141	32.5	none	0	80%	No	01	02	03	04	05	06	07	08	Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Slab-on-Grade	Floor 1	301.14	57.5	none	0	80%	No	Slab-on-Grade 2	Floor 1	144.07	6.92	none	0	80%	No	Slab-on-Grade 3	Floor 1	65.76	5.83	none	0	80%	No	Slab-on-Grade 4	Floor 1	141	32.5	none	0	80%	No	01	02	03	04	05	06	07	08	Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. 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CHECKED BY:

SHEET NUMBER

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**NOT FOR CONSTRUCTION**

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD													
CF1R-PRF-01-E													
Project Name: Type D Meadow													
Calculation Date/Time: 2023-09-23T00:57:36+02:00													
(Page 9 of 14)													
Input File Name: Type_D_Meadow.rbd22x													
FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window 4	Window	Lateral 1 Wall	Left	90			1	12.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall	Left	90		1	25	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 6	Window	Lateral 2 Wall	Right	270	2.5	5	1	12.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Front Wall 2	Front	0			1	6.25	0.28	NFRC	0.35	NFRC	Bug Screen
Window 8	Window	Lateral 1 Wall 2	Left	90		1	12.5	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 9	Window	Lateral 1 Wall 2	Left	90		1	3.75	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 10	Window	Lateral 1 Wall 2	Left	90		1	6	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 11	Window	Rear Wall	Back	180		1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 12	Window	Lateral 2 Wall 2	Right	270		1	20	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 13	Window	Rear Wall 2	Back	180		1	20	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 14	Window	Lateral 2 Wall 3	Right	270		1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 15	Window	Lateral 1 Wall 6	Left	90		1	6	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 16	Window	Lateral 1 Wall 7	Front	0		1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 17	Window	Rear Wall 3	Back	180		1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 18	Window	Rear Wall 3	Back	180		1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window 19	Window	Lateral 2 Wall 4	Right	270		1	10	0.28	NFRC	0.35	NFRC	Bug Screen	
Window_Door	Window	Lateral 2 Wall 4	Right	270		1	41.57	0.28	NFRC	0.35	NFRC	Bug Screen	

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OPAQUE SURFACES - CATHEDRAL CEILINGS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Azimuth	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emissance	Cool Roof			
Roof L1	Floor 1	R-30 Roof No Attic	90	Left	301.14	0	8	0.1	0.85	No			
Roof L1 2	Floor 1	R-30 Roof No Attic	90	Left	48.06	0	8	0.1	0.85	No			
Roof L2	Floor 1	R-30 Roof No Attic	270	Right	17.47	0	8	0.1	0.85	No			
Roof L2 2	Floor 1	R-30 Roof No Attic	270	Right	122.65	0	8	0.1	0.85	No			
Roof L2 3	Floor 1	R-30 Roof No Attic	270	Right	39.69	0	8	0.1	0.85	No			
Roof L3	Floor 1	R-30 Roof No Attic	90	Left	41.89	0	8	0.1	0.85	No			
Roof L4	Floor 1	R-30 Roof No Attic	270	Right	17.3	0	8	0.1	0.85	No			
Roof L4 4	Floor 1	R-30 Roof No Attic	90	Left	83.44	0	8	0.1	0.85	No			
Roof L5	Floor 1	R-30 Roof No Attic	270	Right	95.67	0	8	0.1	0.85	No			

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ZONE INFORMATION													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Status							
Floor 1	Conditioned	Undefined System1	1059.65	8	DHW Sys 1	New							

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OPAQUE SURFACES - GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Front Wall	Front	0			1	6.25	0.28	NFRC	0.35	NFRC	Bug Screen
Window 2	Window	Front Wall	Front	0			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 3	Window	Lateral 1 Wall	Left	90			1	25	0.28	NFRC	0.35	NFRC	Bug Screen

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ENERGY USE INTENSITY													
Energy Use	Standard Design (kBtu/ft <sup>2</sup> - yr)	Proposed Design (kBtu/ft <sup>2</sup> - yr)	Compliance Margin (kBtu/ft <sup>2</sup> - yr)	Margin Percentage									
North Facing													
Gross EU <sup>1</sup>	40.81	27.11	13.4	32.96									
Net EU <sup>2</sup>	28.19	14.7	13.45	47.71									
East Facing													
Gross EU	40.81	27.11	13.7	33.57									
Net EU <sup>2</sup>	28.19	14.5	13.69	33.57									
South Facing													
Gross EU	40.81	27.44	13.7	2.76									
Net EU <sup>2</sup>	28.19	14.82	13.97	13									
West Facing													
Gross EU <sup>1</sup>	40.81	11	13.7	48.6									
Net EU <sup>2</sup>	28.19	11	13.7	48.6									

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(Page 4 of 14)													
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ENERGY USE SUMMARY													
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> - yr)	Standard Design TDV Energy (EDR1) (kTDV/ft <sup>2</sup> - yr)	Proposed Design Source Energy (EDR2) (kBtu/ft <sup>2</sup> - yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> - yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)							
Space Heating	21.02	141.21	21.02	141.21	9.27	98.13							
Space Cooling	0.27	3.33	0.27	3.33	0.42	5.3							
IAQ Ventilation	1.02	11.03	0.63	6.83	0.39	4.2							
Water Heating	3.25	40.82	1.86	22.83	1.39	17.99							
Self Utilization/Flexibility Credit					0	0							
North Facing Efficiency Compliance Total	25.56	196.39	32.13	132.81	13.43	63.58							
Space Heating	21.02	141.21	9.12	97.58	11.9	43.63							
Space Cooling	0.27	3.33	0.23	2.84	0.04	0.49							
IAQ Ventilation	1.02	11.03	0.63	6.83	0.39	4.2							
Water Heating	3.25	40.82	1.87	22.92	1.38	17.9							
Self Utilization/Flexibility Credit					0	0							
East Facing Efficiency Compliance Total	25.56	196.39	11.85	130.17	13.71	66.22							

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CONSTRUCTION

<p><b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>            Project Name: Type D Meadow            Calculation Date/Time: 2023-09-23T00:57:36+02:00            Input File Name: Type_D_Meadow.rbd22x            (Page 12 of 14)</p> <p><b>DOCUMENTATION AUTHOR'S DECLARATION STATEMENT</b>            I, certify that this Certificate of Compliance documentation is accurate and complete.            Documentation Author Name: Jaime Zaldivar            Company: ZAL Engineering            Address: 99 Pacific St, Ste 375G            Monterey, CA 93940            City/State/Zip: 93940            Phone: 831-641-7739            Responsible Person's Declaration Statement            I, certify under penalty of perjury, that the building design identified in this Certificate of Compliance documentation is in accordance with the building permit application. The performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 2 of the California Building Energy Efficiency Standards. The building features and specifications identified on this Certificate of Compliance are consistent with the information provided in the applicable compliance documents, worksheets, and calculations. I have submitted this building permit application to the enforcement agency for approval with this building permit application.            Responsible Person's Signature: Jaime Zaldivar            Date Signed: 2023-09-27 08:16:12            Company: ZAL Engineering            Address: 99 Pacific St, Ste 375G            Monterey, CA 93940            City/State/Zip: 93940            Phone: 831-641-7739</p> <p>Registration Number: 223-P016914894-000-0000000-0000            CA Building Energy Efficiency Standards - 2022 Residential Compliance</p> <p>Registration Date/Time: 2023-09-27 08:16:12            HERs Provider: CalCERTS Inc.</p> <p>Report Version: 2022.0.000            Schema Version: rev 20220901            Report Generated: 2023-09-22 15:58:32</p> <p style="text-align: center;"></p> <p>Easy to Verify  <a href="http://CalCERTS.com">CalCERTS.com</a></p>	<p><b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>            Project Name: Type D Meadow            Calculation Date/Time: 2023-09-23T00:57:36+02:00            Input File Name: Type_D_Meadow.rbd22x            (Page 13 of 14)</p> <p><b>SPACE CONDITIONING SYSTEMS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> <th>06</th> <th>07</th> <th>08</th> <th>09</th> <th>10</th> <th>11</th> <th>12</th> <th>13</th> </tr> <tr> <td>Name</td> <td>System Type</td> <td>Heating Unit Name</td> <td>Heating Equipment Count</td> <td>Cooling Unit Name</td> <td>Cooling Equipment Count</td> <td>Fan Name</td> <td>Distribution Name</td> <td>Required Thermostat Type</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Undefined</td> <td>Heat pump for cooling</td> <td>Heat Pump System</td> <td>1</td> <td>Heat Pump System</td> <td>1</td> <td>n/a</td> <td>n/a</td> <td>Setback</td> <td></td> <td></td> <td></td> <td></td> </tr> </table> <p><b>HEAT PUMPS - HERs VERIFICATION</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> <th>06</th> <th>07</th> <th>08</th> <th>09</th> </tr> <tr> <td>Name</td> <td>Verified Airflow</td> <td>Airflow Target</td> <td>Verified EER/ER2</td> <td>Verified SEER/SEER2</td> <td>Verified Refrigerant Charge</td> <td>Verified HSPF/HSPF2</td> <td>Verified Heating Cap 47</td> <td>Verified Heating Cap 17</td> </tr> <tr> <td>Heat Pump System 1-herst-hpump</td> <td>Not Required</td> <td>0</td> <td>Not Required</td> <td>Not Required</td> <td>Yes</td> <td>No</td> <td>Yes</td> <td>Yes</td> </tr> </table> <p><b>HVAC HEAT PUMPS - HERs VERIFICATION</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> <th>06</th> <th>07</th> <th>08</th> <th>09</th> </tr> <tr> <td>Name</td> <td>Verified Airflow</td> <td>Airflow Target</td> <td>Verified EER/ER2</td> <td>Verified SEER/SEER2</td> <td>Verified Refrigerant Charge</td> <td>Verified HSPF/HSPF2</td> <td>Verified Heating Cap 47</td> <td>Verified Heating Cap 17</td> </tr> <tr> <td>Heat Pump System 1-herst-hpump</td> <td>Not Required</td> <td>0</td> <td>Not Required</td> <td>Not Required</td> <td>Yes</td> <td>No</td> <td>Yes</td> <td>Yes</td> </tr> </table> <p><b>INDOOR AIR QUALITY (IAQ) FANS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> <th>06</th> <th>07</th> <th>08</th> <th>09</th> </tr> <tr> <td>Dwelling Unit</td> <td>Airflow (CFM)</td> <td>Fan Efficacy (W/CFM)</td> <td>IAQ Fan Type</td> <td>Includes Heat/Energy Recovery</td> <td>IAQ Recovery Effectiveness - SRE</td> <td>Includes Fault Indicator Display?</td> <td>HERs Verification</td> <td>Status</td> </tr> <tr> <td>Sfam IAQVentRpt 1-1</td> <td>80</td> <td>0.375</td> <td>Balanced</td> <td>Yes</td> <td>83</td> <td>No</td> <td>Yes</td> <td></td> </tr> </table> <p>Registration Number: 223-P016914894-000-0000000-0000            CA Building Energy Efficiency Standards - 2022 Residential Compliance</p> <p>Registration Date/Time: 2023-09-27 08:16:12            HERs Provider: CalCERTS Inc.</p> <p>Report Version: 2022.0.000            Schema Version: rev 20220901            Report Generated: 2023-09-22 15:58:32</p> <p><b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>            Project Name: Type D Meadow            Calculation Date/Time: 2023-09-23T00:57:36+02:00            Input File Name: Type_D_Meadow.rbd22x            (Page 10 of 14)</p> <p><b>OPAQUE SURFACE CONSTRUCTIONS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> <th>06</th> <th>07</th> <th>08</th> </tr> <tr> <td>Construction Name</td> <td>Surface Type</td> <td>Construction Type</td> <td>Framing</td> <td>Total Cavity R-value</td> <td>Interior / Exterior Continuous R-value</td> <td>U-factor</td> <td>Assembly Layers</td> </tr> <tr> <td>R-21 Wall</td> <td>Exterior Walls</td> <td>Wood Framed Wall</td> <td>2x6 @ 16 in. 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O.C.</td> <td>R-30</td> <td>None / None</td> <td>0.036</td> <td>Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding: 3 Coat Stucco Cavity / Frame: R-30 / 2x12 Inside Finish: Gypsum Board</td> </tr> </table> <p><b>BUILDING ENVELOPE - HERs VERIFICATION</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> </tr> <tr> <td>Quality Insulation Installation (QII)</td> <td>High R-value Spray Foam Insulation</td> <td>Building Envelope Air Leakage</td> <td>CFM50</td> <td>CFM50</td> </tr> <tr> <td>Not Required</td> <td>Not Required</td> <td>N/A</td> <td>n/a</td> <td>n/a</td> </tr> </table> <p><b>WATER HEATING SYSTEMS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> <th>06</th> <th>07</th> <th>08</th> <th>09</th> </tr> <tr> <td>Name</td> <td>Pipe Insulation</td> <td>Parallel Piping</td> <td>Compact Distribution</td> <td>Compact Distribution Type</td> <td>Recirculation Control</td> <td>Shower Drain Water Heat Recovery</td> <td></td> <td></td> </tr> <tr> <td>DHW Sys 1</td> <td>Not Required</td> <td>Not Required</td> <td>Not Required</td> <td>Basic</td> <td>Not Required</td> <td>Not Required</td> <td></td> <td></td> </tr> </table> <p>Registration Number: 223-P016914894-000-0000000-0000            CA Building Energy Efficiency Standards - 2022 Residential Compliance</p> <p>Registration Date/Time: 2023-09-27 08:16:12            HERs Provider: CalCERTS Inc.</p> <p>Report Version: 2022.0.000            Schema Version: rev 20220901            Report Generated: 2023-09-22 15:58:32</p> <p><b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b>            Project Name: Type D Meadow            Calculation Date/Time: 2023-09-23T00:57:36+02:00            Input File Name: Type_D_Meadow.rbd22x            (Page 11 of 14)</p> <p><b>OPAQUE DOORS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> </tr> <tr> <td>Name</td> <td>Side of Building</td> <td>Area (ft<sup>2</sup>)</td> <td>U-factor</td> </tr> <tr> <td>Door</td> <td>Lateral 2 Wall</td> <td>20</td> <td>0.5</td> </tr> </table> <p><b>OVERHANGS AND FINS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> <th>06</th> <th>07</th> <th>08</th> <th>09</th> <th>10</th> <th>11</th> <th>12</th> <th>13</th> <th>14</th> </tr> <tr> <td>Window</td> <td>Overhang</td> <td></td> <td></td> <td>Left Fin</td> <td></td> <td>Right Fin</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Window 6</td> <td>Depth</td> <td>Dist Up</td> <td>Left Extent</td> <td>Right Extent</td> <td>Flap Ht.</td> <td>Depth</td> <td>Top Up</td> <td>Dist L</td> <td>Bot Up</td> <td>Depth</td> <td>Top Up</td> <td>Dist R</td> <td>Bot Up</td> </tr> <tr> <td></td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> <td>10</td> <td>0</td> <td>3.5</td> <td>0</td> </tr> </table> <p><b>SLAB FLOORS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>01</th> <th>02</th> <th>03</th> <th>04</th> <th>05</th> <th>06</th> <th>07</th> <th>08</th> </tr> <tr> <td>Name</td> <td>Zone</td> <td>Area (ft<sup>2</sup>)</td> <td>Perimeter (ft)</td> <td>Edge Insul. 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Slab-on-Grade 1	Floor 1	301.14	57.5	none	0	80%	No																																																																																																																																																																																																																																																																																																																																								
Slab-on-Grade 2	Floor 1	144.07	6.92	none	0	80%	No																																																																																																																																																																																																																																																																																																																																								
Slab-on-Grade 3	Floor 1	65.76	5.83	none	0	80%	No																																																																																																																																																																																																																																																																																																																																								
Slab-on-Grade 4	Floor 1	141	32.5	none	0	80%	No																																																																																																																																																																																																																																																																																																																																								
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Input File Name: Type_D_Goldrush.rbd22x													
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FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window 4	Window	Lateral 1 Wall	Left	90			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 5	Window	Lateral 1 Wall	Left	90			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 6	Window	Lateral 1 Wall	Left	90			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 7	Window	Lateral 2 Wall	Right	270	2.5	4	1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 8	Window	Front Wall	Front	0			1	4.91	0.28	NFRC	0.35	NFRC	Bug Screen
Window 9	Window	Lateral 1 Wall 2	Left	90			1	12.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 10	Window	Lateral 1 Wall 3	Left	90			1	6	0.28	NFRC	0.35	NFRC	Bug Screen
Window 11	Window	Rear Wall	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 12	Window	Lateral 2 Wall 2	Right	270			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 13	Window	Lateral 2 Wall 2	Right	270			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 14	Window	Rear Wall 2	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 15	Window	Rear Wall 2	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 16	Window	Lateral 2 Wall 3	Right	270			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 17	Window	Lateral 1 Wall 5	Left	90			1	12.5	0.28	NFRC	0.35	NFRC	Bug Screen
Window 18	Window	Lateral 1 Wall 6	Left	90			1	6	0.28	NFRC	0.35	NFRC	Bug Screen
Window 19	Window	Lateral 1 Wall 7	Front	0			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 20	Window	Rear Wall 3	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen
Window 21	Window	Rear Wall 3	Back	180			1	10	0.28	NFRC	0.35	NFRC	Bug Screen

Registration Number: 223-P016591467A-000-0000000-0000 Registration Date/Time: 2023-09-27 08:15:26 HERS Provider: CalCERTS Inc. CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-09-22 15:35:53 Schema Version: rev 20220901

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Input File Name: Type_D_Goldrush.rbd22x													
(Page 6 of 15)													
REQUIRED PV SYSTEMS													
01	02	03	04	05	06	07	08	09	10	11	12		
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)		
2.41	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	c>7:12	96	98		

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Indoor air quality balanced fan
- IAQ Ventilation System: as low as 0.375 W/CFM
- IAQ Ventilation System Heat Recovery: minimum 80 SRE and 83 ASRE
- IAQ Ventilation System: outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- UV-C Air Purification System: fault indicator display
- Window overhangs and/or fins
- Compact distribution system basic credit
- Recirculating with demand control, occupancy/motion sensor
- Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater: specific brand/model, or equivalent, must be installed

HERS FEATURE SUMMARY

The following is a summary of the features that must be verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. A detailed description is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.

- Indoor air quality ventilation
- Kitchen range hood
- Water softener/softener charge
- Verified heat pump rated heating capacity

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft <sup>2</sup> )	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Type D Goldrush	1059.65	1	3	1	0	1

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(Page 3 of 15)													
ENERGY USE SUMMARY													
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> ·yr)	Standard Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> ·yr)	Proposed Design Source Energy (EDR1) (kBtu/ft <sup>2</sup> ·yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft <sup>2</sup> ·yr)	Margin (%)	Compliance Margin (EDR1)	Compliance Margin (EDR2)						
Space Heating	21.02	141.21	9	95.59	-12.02	45.62							
Space Cooling	0.27	3.33	0.39	4.89	-0.12	-1.56							
IAQ Ventilation	1.02	11.03	0.63	6.83	0.39	4.2							
Water Heating	3.25	40.82	1.86	22.85	1.39	17.97							
Self Utilization/Flexibility Credit				0		0							
North Facing Efficiency Compliance Total	25.56	196.39	11.88	130.16	13.68	66.23							
Space Heating	21.02	141.21	9.04	96.81	11.98	44.4							
Space Cooling	0.27	3.33	0.22	2.6	0.05	0.73							
IAQ Ventilation	1.02	11.03	0.63	6.83	0.39	4.2							
Water Heating	3.25	40.82	1.87	22.93	1.38	17.89							
Self Utilization/Flexibility Credit				0		0							
East Facing Efficiency Compliance Total	25.56	196.39	11.76	129.17	13.8	67.22							

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OPAQUE SURFACES - CATHEDRAL CEILINGS													
01	02	03	04	05	06	07	08	09	10	11			
Name	Zone	Construction	Azimuth	Orientation	Area (ft <sup>2</sup> )	Skylight Area (ft <sup>2</sup> )	Roof Rise (x in 12)	Roof Reflectance	Roof Emissance	Cool Roof			
Roof L1	Floor 1	R-30 Roof No Attic	90	Left	301.14	0	8	0.1	0.85	No			
Roof L1 2	Floor 1	R-30 Roof No Attic	90	Left	48.06	0	8	0.1	0.85	No			
Roof L2	Floor 1	R-30 Roof No Attic	270	Right	17.47	0	8	0.1	0.85	No			
Roof L2 2	Floor 1	R-30 Roof No Attic	270	Right	122.65	0	8	0.1	0.85	No			
Roof L2 3	Floor 1	R-30 Roof No Attic	270	Right	39.69	0	8	0.1	0.85	No			
Roof L3	Floor 1	R-30 Roof No Attic	90	Left	41.89	0	8	0.1	0.85	No			
Roof L4	Floor 1	R-30 Roof No Attic	270	Right	17.3	0	8	0.1	0.85	No			
Roof L4 2	Floor 1	R-30 Roof No Attic	90	Left	83.44	0	8	0.1	0.85	No			
Roof L5	Floor 1	R-30 Roof No Attic	270	Right	95.67	0	8	0.1	0.85	No			

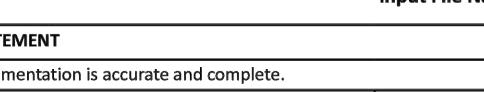
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(Page 8 of 15)													
ZONE INFORMATION													
01	02	03	04	05	06	07	08	09	10	11			
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Status							
Floor 1	Conditioned	Undefined System1	1059.65	8	DHW Sys 1	New							

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OPAQUE SURFACES													
01	02	03	04	05	06	07	08	09	10	11			
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft <sup>2</sup> )	Tilt (deg)						
Front Wall	Floor 1	R-21 Wall	0	Front	171.67	16.25	90						
Lateral 1 Wall	Floor 1	R-21 Wall	90	Left	174.67	40	90						
Lateral 2 Wall	Floor 1	R-21 Wall	270	Right	174.67	30							

NOT FOR CONSTRUCTION

<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b> Project Name: Type D Goldrush Calculation Date/Time: 2023-09-23T00:34:49+02:00 Calculation Description: Title 24 Analysis												<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b> Project Name: Type D Goldrush Calculation Date/Time: 2023-09-23T00:34:49+02:00 Calculation Description: Title 24 Analysis												<b>CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD</b> Project Name: Type D Goldrush Calculation Date/Time: 2023-09-23T00:34:49+02:00 Calculation Description: Title 24 Analysis																																																																													
<b>DOCUMENTATION AUTHOR'S DECLARATION STATEMENT</b> I certify that this Certificate of Compliance documentation is accurate and complete. Documentation Author Name: Jaime Zaldivar Documentation Author Signature:  Company: ZAL Engineering Signature Date: 2023-09-27 08:15:26 Address: 99 Pacific St, Ste 375G City/State/Zip: Monterey, CA 93940 Phone: 831-641-7739 CEQA HERS Certification Identification (if applicable): M37306												<b>INDOOR AIR QUALITY (IAQ) FANS</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>01</th><th>02</th><th>03</th><th>04</th><th>05</th><th>06</th><th>07</th><th>08</th><th>09</th> </tr> <tr> <th>Dwelling Unit</th><th>Airflow (CFM)</th><th>Fan Efficacy (W/CFM)</th><th>IAQ Fan Type</th><th>Inclined Vent/S</th><th>IAQ Rec. Effectiveness</th><th>Indoor Air Quality Display?</th><th>Indoor Air Quality Rating</th><th>Status</th> </tr> </thead> <tbody> <tr> <td>SFam IAQVentRpt 1-1</td><td>80</td><td>0.375</td><td>Advanced</td><td>Yes</td><td>83</td><td>No</td><td>Yes</td><td></td> </tr> </tbody> </table>												01	02	03	04	05	06	07	08	09	Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Inclined Vent/S	IAQ Rec. Effectiveness	Indoor Air Quality Display?	Indoor Air Quality Rating	Status	SFam IAQVentRpt 1-1	80	0.375	Advanced	Yes	83	No	Yes		<b>WATER HEATING - HERS VERIFICATION</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>01</th><th>02</th><th>03</th><th>04</th><th>05</th><th>06</th><th>07</th><th>08</th><th>09</th> </tr> <tr> <th>Name</th><th>System Type</th><th>Parallel Piping</th><th>Compact Distribution</th><th>Compact Distribution Type</th><th>Recirculation Control</th><th>Shower Drain Water Heat Recovery</th><th></th><th></th> </tr> </thead> <tbody> <tr> <td>DHW Sys 1-1</td><td>No</td><td>Not Required</td><td>Not Required</td><td>Basic</td><td>Not Required</td><td>Not Required</td><td></td><td></td> </tr> </tbody> </table>												01	02	03	04	05	06	07	08	09	Name	System Type	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery			DHW Sys 1-1	No	Not Required	Not Required	Basic	Not Required	Not Required														
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<b>RESPONSIBLE PERSON'S DECLARATION STATEMENT</b> I certify the following under penalty of perjury, under the laws of the State of California: 1. I am the responsible person for this building and have the authority for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.												<b>SPACE CONDITIONS</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>01</th><th>02</th><th>03</th><th>04</th><th>05</th><th>06</th><th>07</th><th>08</th><th>09</th> </tr> <tr> <th>Item Type</th><th>Unit Name</th><th>Heating Equipment Count</th><th>Cooling Unit Name</th><th>Cooling Equipment Count</th><th>Fan Name</th><th>Distribution Name</th><th>Required Thermostat Type</th><th></th> </tr> </thead> <tbody> <tr> <td>Unitary System</td><td>Heat Pump</td><td>1</td><td>Heat Pump System</td><td>1</td><td>n/a</td><td>n/a</td><td>Setback</td><td></td> </tr> </tbody> </table>												01	02	03	04	05	06	07	08	09	Item Type	Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type		Unitary System	Heat Pump	1	Heat Pump System	1	n/a	n/a	Setback		<b>HVAC HEAT PUMPS</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>01</th><th>02</th><th>03</th><th>04</th><th>05</th><th>06</th><th>07</th><th>08</th><th>09</th><th>10</th><th>11</th><th>12</th><th>13</th> </tr> <tr> <th>Name</th><th>System Type</th><th>Number of Units</th><th>Efficiency Type</th><th>HPSPF / HSPF2 / COP</th><th>Cap 47</th><th>Cap 17</th><th>Efficiency Type</th><th>SEER / SEER2</th><th>EER / EER2 / CEER</th><th>Zonally Controlled</th><th>Compressor Type</th><th>HERS Verification</th> </tr> </thead> <tbody> <tr> <td>Heat Pump System 1</td><td>Ductless MiniSplit HP</td><td>1</td><td>HSPF2</td><td>10</td><td>30600</td><td>21000</td><td>EER2SEER2</td><td>20</td><td>13.6</td><td>Not Zonal</td><td>Single Speed</td><td>Heat Pump System 1-hers-htpump</td> </tr> </tbody> </table>												01	02	03	04	05	06	07	08	09	10	11	12	13	Name	System Type	Number of Units	Efficiency Type	HPSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2	EER / EER2 / CEER	Zonally Controlled	Compressor Type	HERS Verification	Heat Pump System 1	Ductless MiniSplit HP	1	HSPF2	10	30600	21000	EER2SEER2	20	13.6	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump
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Slab-on-Grade 4	Floor 1	141	32.5	none	0	80%	No																																																																																														
Slab-on-Grade 5	Floor 1	122.65	22.42	none	0	80%	No																																																																																														
Slab-on-Grade 6	Floor 1	60.35	5.08	none	0	80%	No																																																																																														
Slab-on-Grade 7	Floor 1	141	32.5	none	0	80%	No																																																																																														
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